



OFFICE OF ZONING AND DEVELOPMENT

55 Trinity Avenue S.W., Suite 3350

Atlanta, Georgia 30303

(404) 330-6145

APPLICATION #: **V-24-029**

DATE ACCEPTED **02/16/2024**

NOTICE TO APPLICANT

Address of Property:

471 Clifton RD NE

City Council District: **5** Neighborhood Planning Unit (NPU): **N**

Board of Zoning Adjustment (BZA) Hearing Date:

Thursday, April 11, 2024 at 12:00 p.m.

Council Chambers, 2nd Floor, City Hall
55 Trinity Avenue, S.W.

The contact person for NPU N is:

Amy Stout

404-392-3422

npunchair@gmail.com

Contact info for adjacent NPUs is provided below if necessary:

Additional Contacts:

Please contact the person(s) listed above within five days to find out which meetings you will be required to attend before the next NPU meeting. If you are unable to reach the contact person, please call the city's NPU Coordinator at 404-330-6145.

Signed,

Rhonda Goodman

RG, for Director, Office of Zoning and
Development

Caren Ann Nunnally

Caren Ann Nunnally

V-24-029



APPLICATION FOR BOARD OF ZONING ADJ

V-24-029

Please mark "X" next to the type of application(s) you are subn

Variance	X
Special Exception	
Variance & Special Exception	



Date Filed _____

Application Number _____

Name of Applicant Courtney Weil Daytime Phone 404-397-3803

Company Name (if applicable) _____ email COURT.WEIL@GMAIL.COM

Address 471 Clifton Rd NE Atlanta GA 30307
street city state zip code

Name of Property Owner Courtney Weil Phone 404-397-3803

Address 471 Clifton Rd NE Atlanta GA 30307
street city state zip code

Description of Property

Address of Property 471 Clifton Rd NE Atlanta GA 30307
street city state zip code

Area: _____ Land Lot: 239 District: 15, DeKalb County, GA.

Property is zoned: R-4, Council District: 5, Neighborhood Planning Unit (NPU): N

TO THE BOARD OF ZONING ADJUSTMENT: Applicant, having received a preliminary plan review from the Office of Zoning and Development prior to seeking a building permit or certificate of occupancy, hereby requests that the Board of Zoning Adjustment grant a Variance or Special Exception.

I hereby authorize the staff of the Office of Zoning and Development to inspect the premises of the above-described property. I understand that it is my responsibility to post a public notice sign on the property according to the instructions given to me by the Office of Zoning and Development upon filing this application. I swear that all statements herein and attached hereto are true and correct to the best of my knowledge and belief.

Courtney Weil
Owner or Agent for Owner (Applicant)

Courtney Weil
Print Name of Owner

Sworn To And Subscribed Before Me This 7th Day Of Dec, 2023.

Beth L Damon
NOTARY PUBLIC

Beth L Damon
NOTARY PUBLIC
DeKalb County, Georgia
Comm. Expires 12/11/2026



City of Atlanta
Department of City Planning
Office of Zoning and Development
55 Trinity Avenue, Suite 3350
Atlanta, Georgia 30303
Phone: 404-330-6145

BOARD OF ZONING ADJUSTMENT (BZA) REFERRAL FORM

DATE FILED: February 20, 2024

V-24-029



COUNCIL DISTRICT 5 NPU N

APPLICATION NUMBER _____

1. Courtney Weil
Name of Applicant

SCOPE OF WORK

Construction of new shed

471 Clifton Rd

NE

15-239

Street Address

Quadrant

District & Land Lot

to be used for **Residential** purposes. The property is zoned **R-4, Single Family Residential**
District regulations.

2. Prior to the issuance of a Building Permit, the applicant must seek a variance/special exception for the following reasons:

Applicant is seeking a Variance from the zoning ordinance to (1) Reduce the rear yard

Setback from 15ft to 4ft.

The Applicant has not requested additional variances/special exceptions based on application materials submitted.

1982 ZONING ORDINANCE, AS AMENDED

Chapter & Section: Chapter 6 Section 16-06.008 (3)

Chapter & Section: _____

Chapter & Section: _____

Yedidiah Omodare 02/15/24
Plan Reviewer Date

Courtney Weil 02/21/24
Applicant Date

SUMMARY & JUSTIFICATION FOR VARIANCES

Directions: Complete responses must be provided for ALL questions. Incomplete applications will not be accepted. The space below may be utilized or responses may be submitted as a separate attachment. Specific criteria for Board approval of variances may be found on page 7. The justification must address the criteria. Please submit a typewritten or legible justification.

Is the property described in this application subject to a pending application or ordinance for a Rezoning or Special Use Permit? _____ YES X NO. (If yes, the variance/special exception request will be rescheduled to a hearing following the final approval by City Council & the Mayor). Please provide the relevant zoning application number associated with the subject property: _____.

Summary of proposed construction changes to buildings or site (shall not replace submittal of written criteria). (Examples: "Convert a 100' x 200' retail space into a restaurant." "Install a 6-foot high opaque wooden wall ('privacy fence' with 6-foot high opaque wall gates.").

Build 10x16 shed studio with 4 foot set back in the rear

Proposed Lot Coverage (After Construction): Calculate total amount of lot coverage on entire property, after completion of proposed construction, including existing and proposed buildings and other structures; sidewalks, driveways, parking pads, patios, gravel, etc.; everything except natural planted or undisturbed areas.

7250 covered square feet / 3625 total lot square feet = 50 % proposed lot coverage

50 % maximum allowed lot coverage

Variance Criteria (see page 6 for detailed criteria):

- 1) What are the extraordinary and exceptional conditions pertaining to the particular piece of property in question (size, shape or topography)? The shape of the lot and the size of the backyard makes it unfeasable to build the approved shed studio with the current setbacks.
- 2) How would the application of the Zoning Ordinance of the City of Atlanta to this particular piece of property create an unnecessary hardship? The current setback is 15 ft - our garage sits at 0 ft setback on the alley of our property. The current set back creates a hardship to the use of our yard
- 3) What conditions are peculiar to this particular piece of property? 15 ft Backset back & front 12 ft on each side
- 4) Submit facts to show that relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of the Zoning Ordinance of the City of Atlanta. Our shed studio shed space does not create any detriment as it will be in our backyard.



Courtney Weil
471 Clifton Rd NE Atlanta, GA 30307
court.weil12@gmail.com
404.397.3803

11/27/23

To whom it may concern:

I am writing to request a variance from the required 15-foot setback for the back of my property. I am seeking to construct an at-home jewelry studio for my small business that I will work from daily. The current setback requirement would place the studio in the middle of my backyard, making the backyard impractical to use. We are asking for a 4-foot setback from the property line.

My property is located at 471 Clifton Rd NE in Atlanta, Georgia. The backyard backs up to an alleyway, and all of the garages along the alleyway are right on the property line, including our own garage as well as both our direct neighbors.

The studio would be a small 10 ft by 14 ft one-story structure that would not have a significant impact on the neighborhood. Additionally, the studio would be located in the rear of the property, away from the street and any neighbors.

I am committed to making sure that the studio is constructed in a way that is compatible with the neighborhood, and would not interfere with the alleyway access. I believe that this is a reasonable request that would allow me to make the best use of my property, while also adding value to the property and neighborhood.

We have two young children who adore using our backyard. Construction of the studio at a smaller setback would maximize our backyard, so we can all continue to live, play, and work in our small area in the city.

Thank you so much for your time and consideration.

Sincerely,
Courtney Weil

SUMMARY & JUSTIFICATION FOR SPECIAL EXCEPTIONS

Directions: Complete responses must be provided. Incomplete applications will not be accepted. The space below may only be utilized for the summary of proposal or responses may be submitted as a separate attachment. Specific criteria for Board approval of special exceptions may be found on page 9. **The justification must address the criteria. Please submit a separate justification for responses to the applicable special exception criteria.**

Is the property described in this application subject to a pending application or ordinance for a Rezoning or Special Use Permit? _____ YES ✓ NO. (If yes, the variance/special exception request will be rescheduled to a hearing following the final approval by City Council & the Mayor.) Please provide the relevant zoning application number associated with the subject property: _____.

Summary of proposed special exception request (shall not replace submittal of written criteria). (Examples: "Installation of a swimming pool adjacent to the public right of way ("active recreation"), "Install a 6-foot high opaque wooden wall ('privacy fence' with 6-foot high opaque wall gates.").

- ☐ **Parking & Loading:** List the hours and manner of operation for the proposed use, the maximum number of employees who will park on the site at any given time, and list the maximum estimated number of customers (visitors or similar persons) who will require automobile parking in connection with the use on the site at any given time. **If you are proposing off-site parking, see the attached Standards for off-site Parking Agreements (page 11).**

- ☐ **Walls and Fences:** Any request for walls or fences should include a site plan and elevations showing the full extent of the wall or fence and a drawing showing a typical portion of the wall or fence including gates of ornamental fences.

- ☐ **Active Recreation:** _____

- ☐ **Non-Conforming Uses & Structures (i.e. duplex):** _____

- ☒ **All other Special Exception Requests:** Setback reduction request for build of approved 10x16 shed studio

**AUTHORIZATION BY PROPERTY OWNER**

(Required only if the applicant is not the owner of the property subject to the proposed application.)

(Please print clearly. Must be the original document. A copy will not be accepted.)

I, Courtney Weil (OWNER'S NAME) SWEAR AND AFFIRM THAT I AM
THE OWNER OF THE PROPERTY AT 471 Clifton Rd NE Atlanta, GA 30307 (PROPERTY
ADDRESS). AS SHOWN IN THE RECORDS OF Dekalb COUNTY, GEORGIA,
WHICH IS THE SUBJECT MATTER OF THE ATTACHED APPLICATION. I AUTHORIZE THE
PERSON NAMED BELOW TO FILE THIS
APPLICATION AS MY AGENT.

NAME OF APPLICANT:

LAST NAME Weil FIRST NAME Courtney
ADDRESS 471 Clifton Rd NE SUITE —
CITY Atlanta STATE GA ZIP CODE 30307

OWNER'S TELEPHONE NUMBER: 404-397-3803

Courtney Weil
SIGNATURE OF OWNER

Courtney Weil
PRINT NAME OF OWNER

PERSONALLY APPEARED BEFORE ME THE ABOVE NAMES, WHO SWEARS THAT THE
INFORMATION CONTAINED IN THIS AUTHORIZATION IS TRUE AND CORRECT TO THE BEST OF
MY KNOWLEDGE AND BELIEF.

Beth A. Damon
NOTARY PUBLIC

December 7, 2023
DATE

**BEFORE STARTING ANY LAND-DISTURBING
ACTIVITIES, THE CONTRACTOR IS REQUIRED
TO SCHEDULE A PRE-CONSTRUCTION MEETING
WITH EROSION & SEDIMENT CONTROL.**

CALL (404) 546 -1305

**FAILURE TO SCHEDULE MAY RESULT IN A STOP
WORK ORDER OR PERMIT REVOCATION.**



V-24-029

**OFFICE OF ZONING
& DEVELOPMENT**

RECEIVED

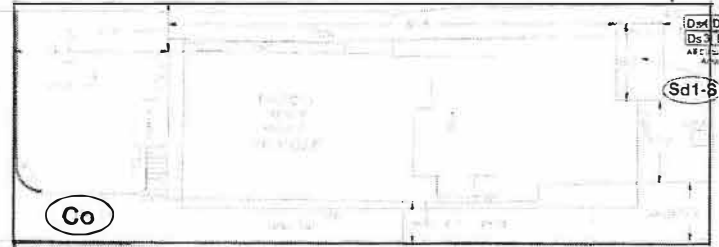
DATE: 2/16/2024

IMPERVIOUS (IN SQUARE FEET)

HOUSE	1615
GARAGE	298
DECK	431
CONC DW	786
WALL	24
PORCH	68
PATIO	327
BRICK AREA	14
STEPS	58
CONC. AREA	86
PROPOSED SHED	180

PROPOSED SHED
The shed is located on the property and is proposed to be constructed of wood. It is located on the property and is proposed to be constructed of wood. It is located on the property and is proposed to be constructed of wood.

PROPOSED SHED
The shed is located on the property and is proposed to be constructed of wood. It is located on the property and is proposed to be constructed of wood. It is located on the property and is proposed to be constructed of wood.



TREE TABLE

TR.NO.	DIAMETER	TYPE
1	35"	OAK



**OFFICE OF WATERSHED PROTECTION
Site DEVELOPMENT: (404) 330-6249**

This plan was reviewed for compliance with City of Atlanta rules, regulations, and standards, and is approved as to concept, and materials for grading, stormwater management, erosion and sediment control, storm and sanitary sewer and paving. However, approval does not relieve the property owner, contractor, or designer of responsibility or liability for damage to adjacent or downstream properties, and shall not constitute an assumption of liability by the City of Atlanta for damages caused by construction or grading. Approval does not relieve the obligation to meet all other applicable City, state, or federal requirements.

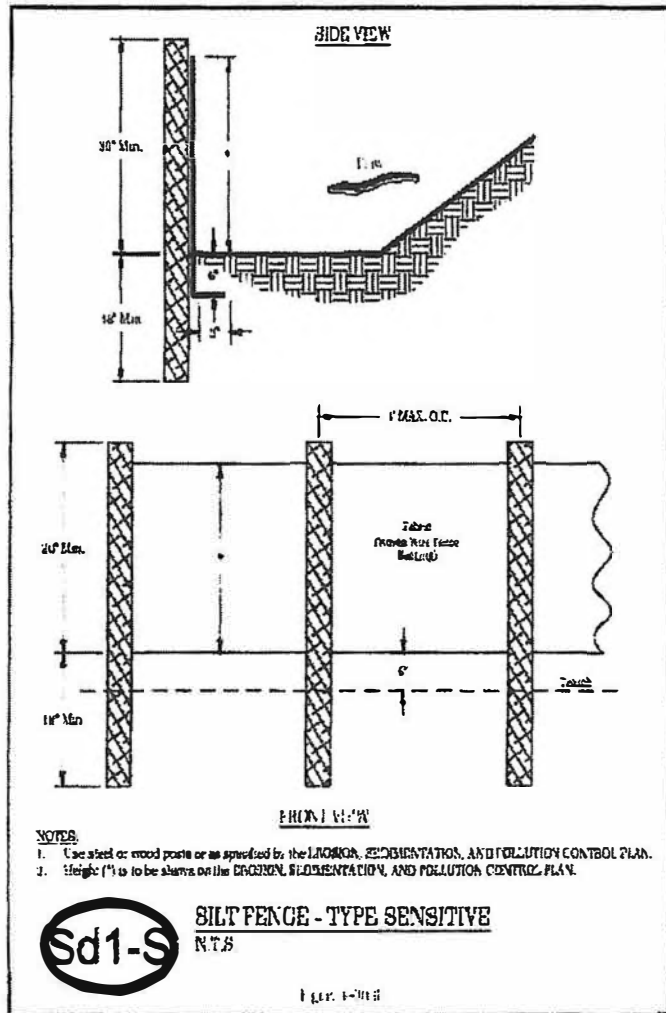
Aashish Shrestha

Plan Reviewer (Print Name)
03/20/2023

(Signature)

CITY OF ATLANTA REQUIRED STANDARD NOTES & DETAILS FOR SITE DEVELOPMENT

- PRIOR TO ANY LAND DISTURBANCE, CONTRACTOR SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE EROSION CONTROL DEPARTMENT @ 404-546-1305
- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO CONSTRUCTION.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. ADDITIONAL MEASURES BEYOND THE APPROVED PLAN SHALL BE IMPLEMENTED AS NECESSARY
- DISTURBED AREAS LEFT IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION; DISTURBED AREAS IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
- EROSION CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
- ADDITION EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY BY ON-SITE INSPECTION.
- SILT FENCE SHALL BE "Type S" (formerly "Type C") AS PER THE *MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA* AND BE WIRE REINFORCED.
- DOUBLED ROW OF SD1-S REQUIRED IF DISTURBED AREA IS WITHIN 200 FEET OF STATE WATERS



Ds1	DISTURBED AREA STABILIZATION (WITH MULCHING ONLY)		Ds1	Establishing temporary protection for disturbed areas where seedlings may not have a suitable growing season to produce an erosion retarding cover.
Ds2	DISTURBED AREA STABILIZATION (WITH TEMP SEEDING)		Ds2	Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
Ds3	DISTURBED AREA STABILIZATION (WITH PERM SEEDING)		Ds3	Establishing a permanent vegetative cover such as trees, shrubs, vines, grasses, or legumes on disturbed areas.
Ds4	DISTURBED AREA STABILIZATION (SODDING)		Ds4	A permanent vegetative cover using sods on highly erodible or critically eroded lands.
Du	DUST CONTROL ON DISTURBED AREAS		Du	Controlling surface and air movement of dust on construction site, roadways and similar sites.

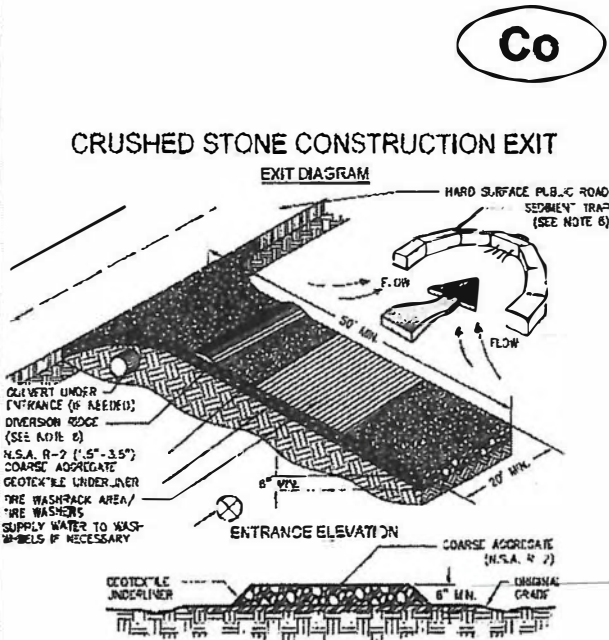


Table 1. Some Temporary Plant Species, Seeding Rates and Planting Dates

Species	Rates Per 1,000 sq. ft.	Rates per Acre	Planting Dates by Region		
			M-L	P	C
Barley Alone	3.3 lbs.	3 bu.	9/1-10/31	9/15-11/15	10/1-12/31
Barley in Mixtures	.6 lbs.	.5 bu.			
Lespedeza, Annual	0.9 lbs.	40 lbs.	3/1-3/31	3/1-3/31	2/1-2/28
Lespedeza in Mixtures	0.2 lbs.	10 lbs.			
Lovegrass, Weeping	0.1 lbs.	4 lbs.	4/1-5/31	4/1-5/31	3/1-5/31
Lovegrass in Mixtures	.05 lbs.	2 lbs.			
Millet, Browntop	.9 lbs.	40 lbs.	4/15-6/15	4/15-6/30	4/15-6/31
Millet in Mixtures	.2 lbs.	10 lbs.			
Millet, Pearl	1.1 lbs.	50 lbs.	5/15-7/15	5/1-7/31	4/15-8/15
Oats Alone	2.99 lbs.	4 bu.	9/15-11/15	9/15-11/15	9/15-11/15
Oats in Mixtures	.7 lbs.	1 bu.			
Rye (Grain) Alone	3.9 lbs.	3 bu.	8/15-10/31	9/15-11/30	10/1-12/31
Rye in Mixtures	.6 lbs.	.5 bu.			
Ryegrass	0.9 lbs.	40 lbs.	8/15-11/15	9/1-12/15	9/15-12/31
Sudangrass	1.4 lbs.	60 lbs.	5/1-7/31	5/1-7/31	4/1-7/31
Triticale Alone	3.3 lbs.	3 bu.	NA	NA	10/15-11/31
Triticale in Mixtures	.6 lbs.	.5 bu.			
Wheat Alone	4.1 lbs.	3 bu.	9/15-11/30	10/1-12/15	10/15-12/31
Wheat in Mixtures	.7 lbs.	.5 bu.			

V-24-029

OFFICE OF ZONING
& DEVELOPMENT

RECEIVED

DATE: 2/16/2024

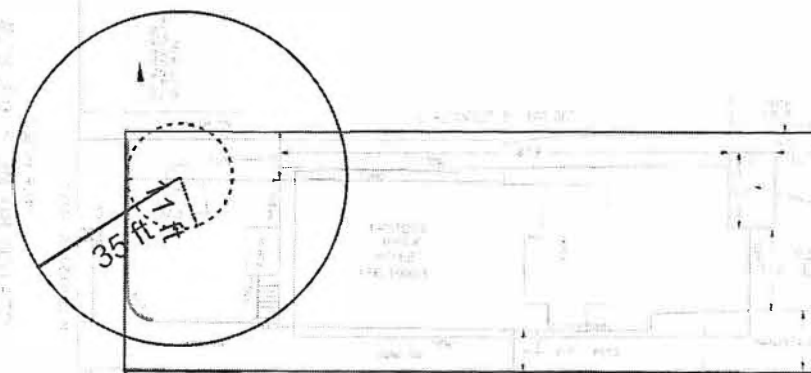
FOR TREES ONLY

IMPERVIOUS (IN SQUARE FEET)

HOUSE	1615
GARAGE	298
DECK	431
CONC DW	786
WALL	24
PORCH	68
PATIO	327
BRICK AREA	14
STEPS	58
CONC. AREA	86
PROPOSED SHED	100

PROPERTY OF: [illegible]
[illegible]
[illegible]
[illegible]
[illegible]

[illegible text block]



TREE TABLE

TR. NO.	DIAMETER	TYPE
1	35"	OAK



City of Atlanta | Department of City Planning
OFFICE OF BUILDINGS

ARBORIST DIVISION

**NO TREES WILL BE DESTROYED
BY CONSTRUCTION**

Monique Humphrey

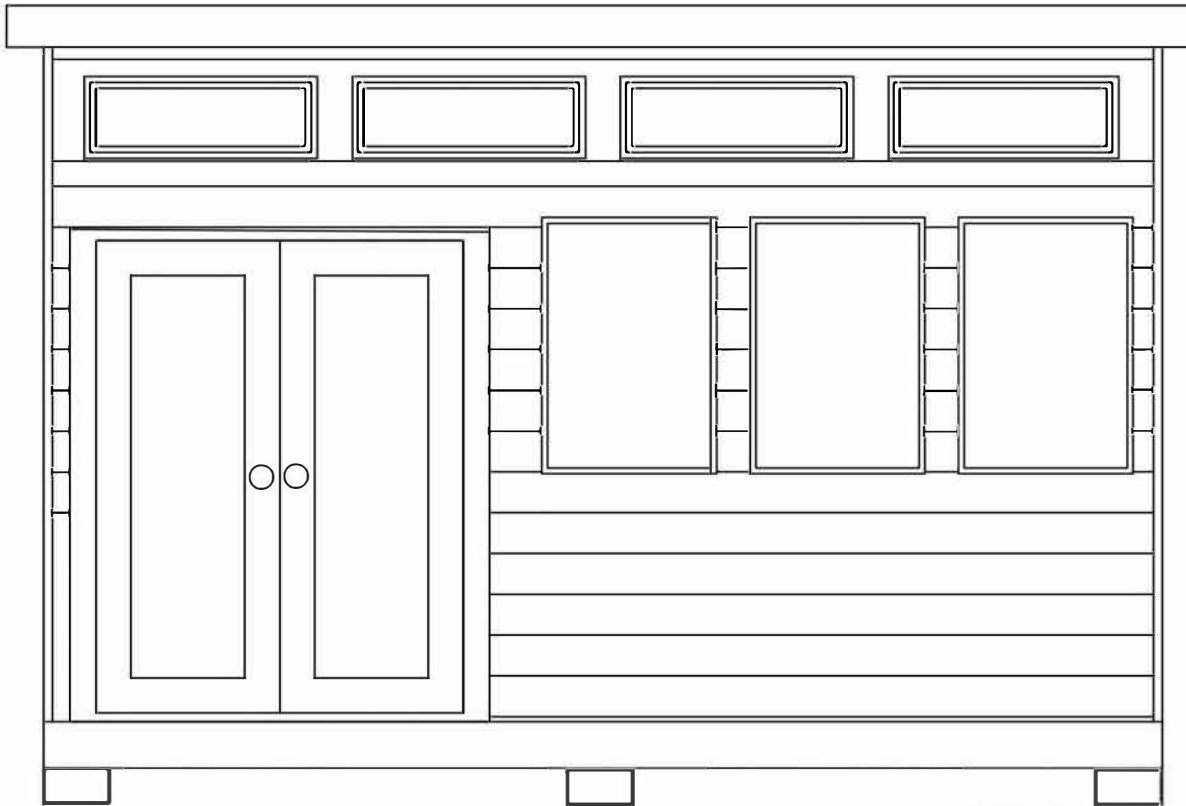
Digitally signed by Monique
Humphrey
DN: C=US,
E=monique.humphrey@atlantaga.com,
O=Arborist, OU=OOB,
CN=Monique Humphrey
Reason: Approved
Date: 2024.03.01
11:08:52-0500

ARBORIST'S SIGNATURE AND DATE

DATE: 2/16/2024

TR.NO.	DIAMETER	TYPE
1	35"	OAK

V-24-029



10X16 MODERN SHED PLANS

RELEASED FOR CONSTRUCTION

DRAWING INDEX

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PAGE 5	FLOOR SHEETING & FRAMING PLAN
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PAGE 7.2	BIRDSMOUTH TEMPLATE
PAGE 8	SECTION
PAGE 8.1	ROOF DETAILS
PAGE 8.2	FOUNDATION SECTION

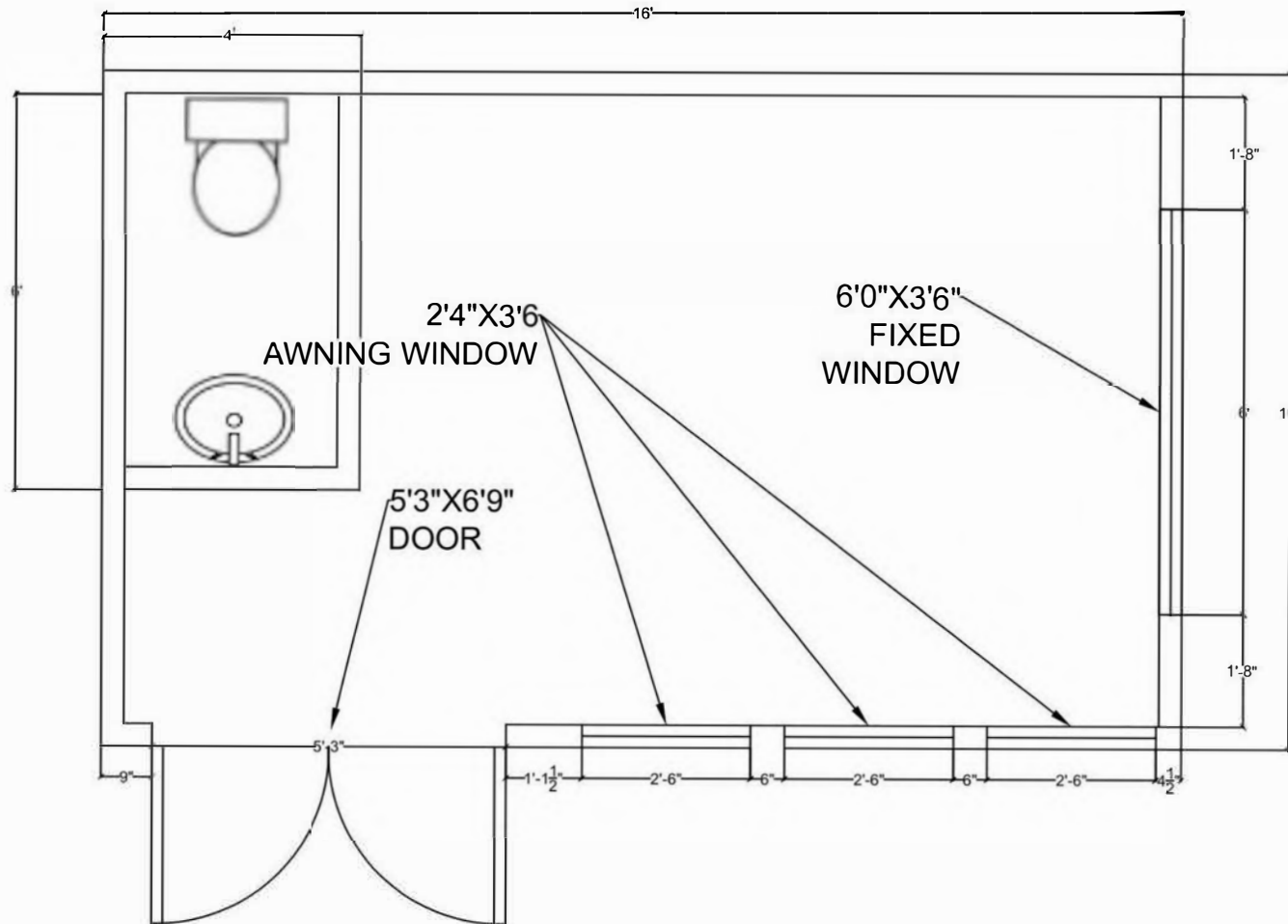
TITLE SHEET 1

V-24-029

OFFICE OF ZONING
& DEVELOPMENT

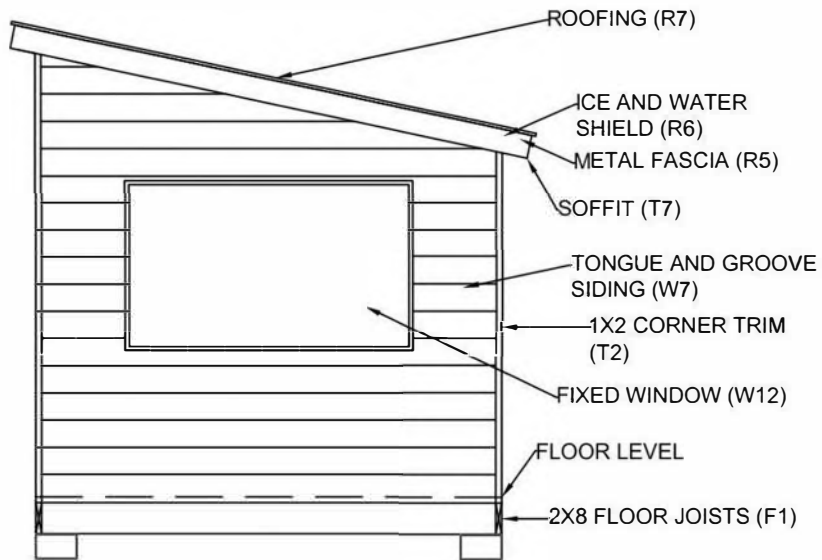
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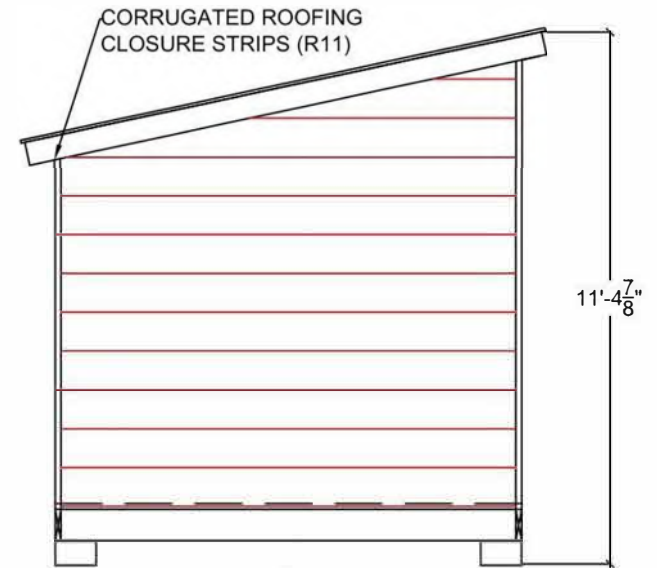


FLOOR PLAN

$\frac{3}{8}" = 1'0"$



V-24-029



RIGHT ELEVATION

LEFT ELEVATION

SIDING AND ROOF MATERIALS

CODE	DESCRIPTION	LENGTH	QTY.
W7	1X8 TONGUE AND GROOVE SIDING	380 S.F.	
T2	1X2 CORNER TRIM	10'0"	16
R5	8" GALVANIZED FASCIA FLASHING WITH DRIP EDGE	4'x8'x $\frac{1}{8}$ "	1
R6	ICE AND WATER SHIELD	200 SF.	
R7	36" PBR CORRUGATED METAL ROOFING	11'4 1/2"	6
R11	CORRUGATED ROOFING CLOSURE STRIP	40LF.	4
W8	VAPOR BARRIER (HOUSE WRAP)	450 S.F.	
W10	AWNING WINDOW	24"X3'6"	3
W11	TRANSOM WINDOWS (SITE VERIFY)	6026	1
W12	FIXED WINDOWS	6'0"X3'6"	1
D1	PRE-HUNG DOOR	5'3"X6'9"	1

EXTERIOR ELEVATIONS 3

RELEASED FOR CONSTRUCTION

V-24-029

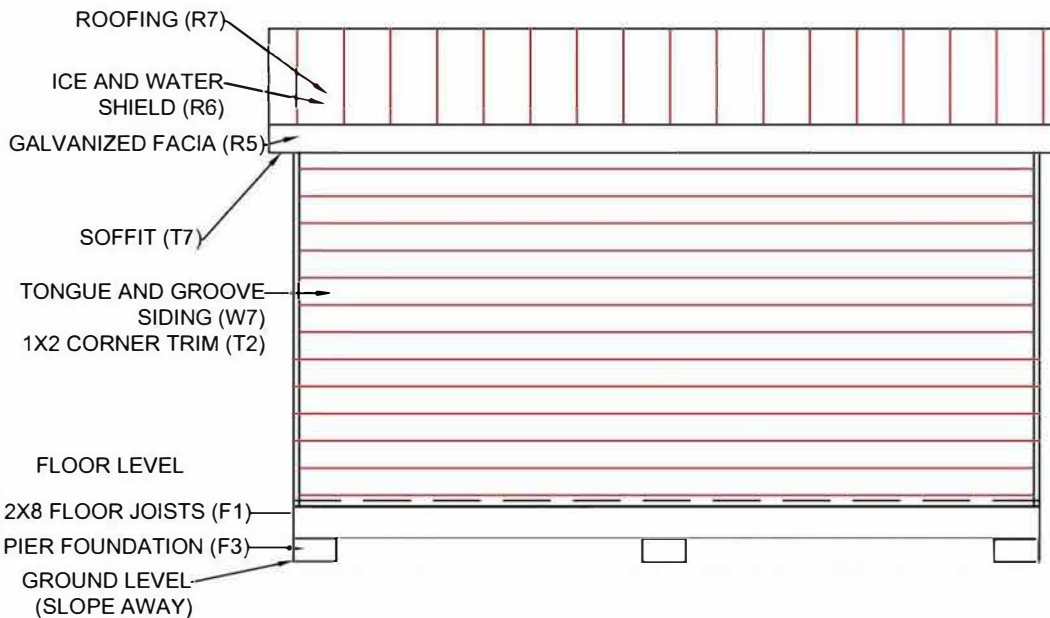
OFFICE OF ZONING
& DEVELOPMENT

RECEIVED

DATE: 2/16/2024



FRONT ELEVATION



REAR ELEVATION

RELEASED FOR CONSTRUCTION

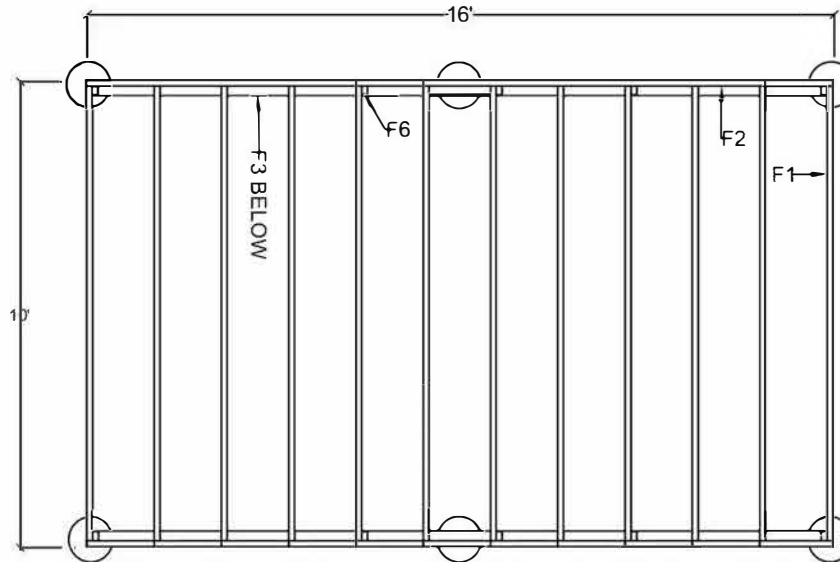
EXTERIOR ELEVATIONS 3.1

V-24-029

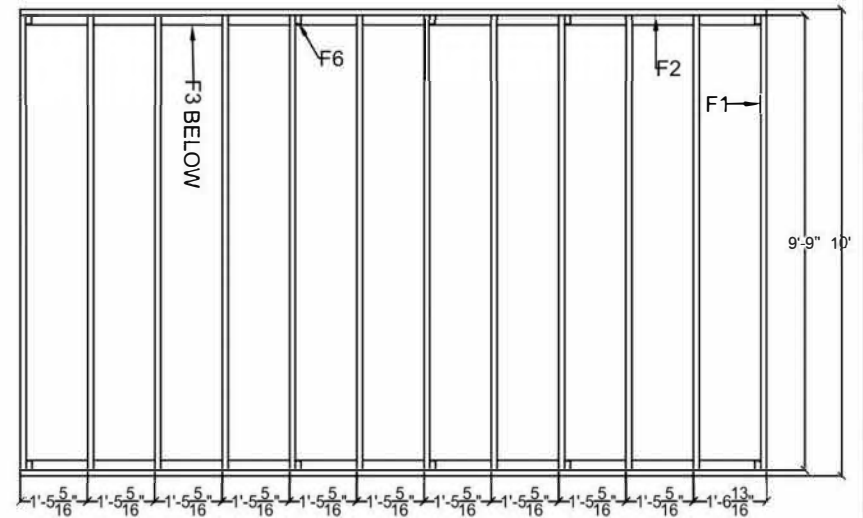
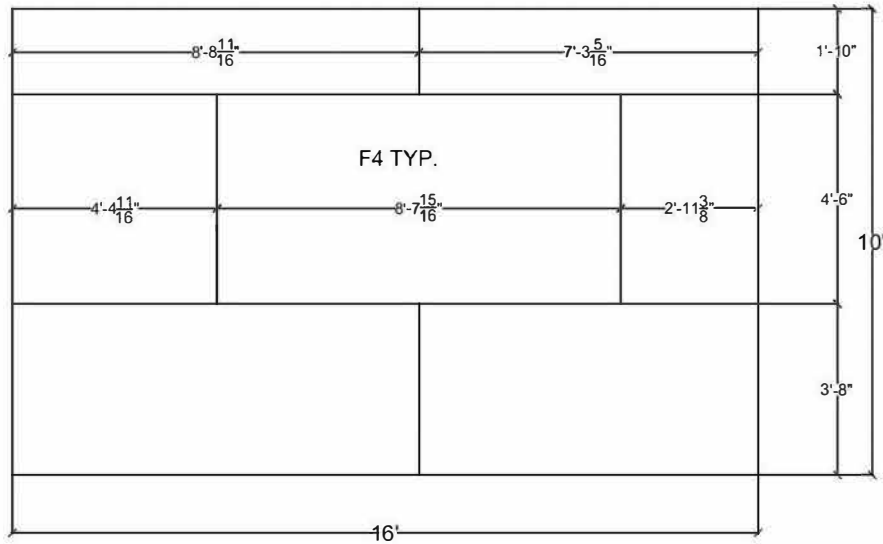
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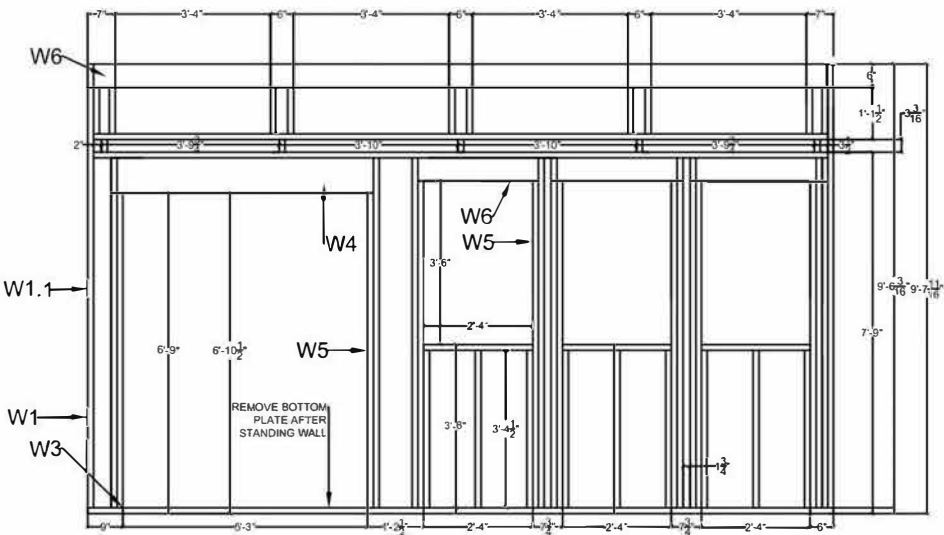


FOUNDATION PLAN



FLOOR FRAMING MATERIALS

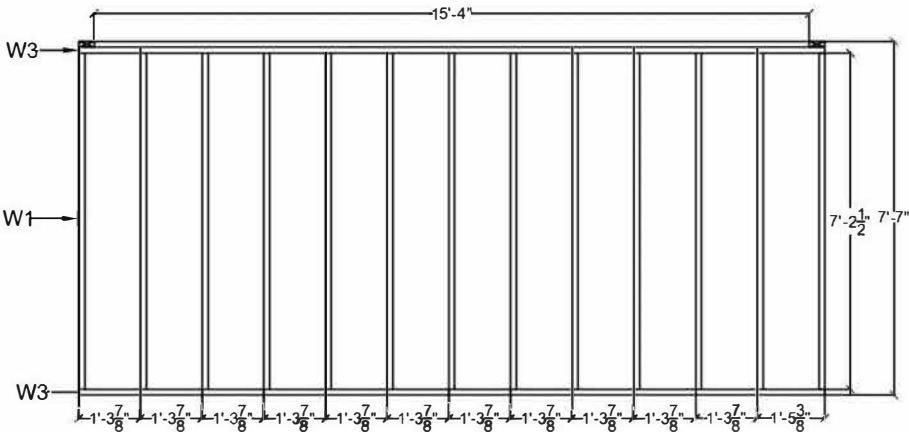
CODE	DESCRIPTION	LENGTH	QTY.
F1	2X8 FLOOR JOIST	10'-0"	13
F2	2X8 RIM JOIST	16'-0"	2
F4	4'X8'X $\frac{3}{4}$ " O.S.B. T.G.	4'X8'X $\frac{3}{4}$ "	2
F6	SIMPSON A23 CLIP		5



FRONT FRAMING PLAN

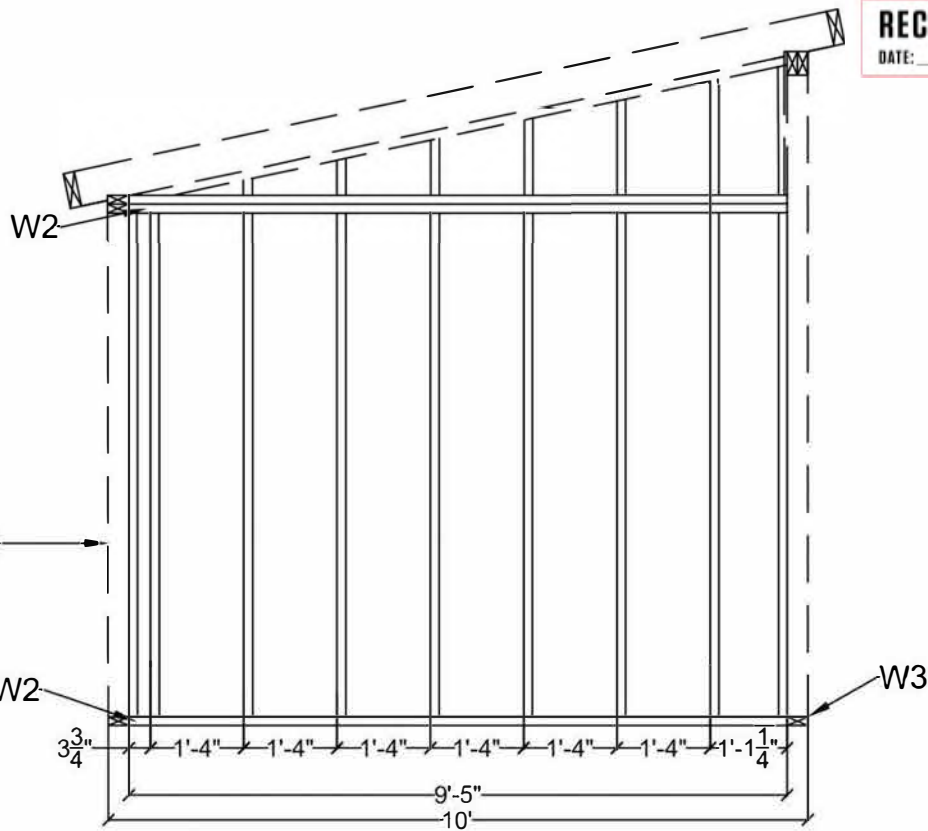
WALL FRAMING MATERIALS

CODE	DESCRIPTION	LENGTH	QTY.
W1	2X4 WALL STUD	8'-0"	52
W1.1	2X4 WALL STUD	10'-0"	2
W2	2X4 WALL PLATE, SHORT	10'-0"	8
W3	2X4 WALL PLATE, LONG	16'-0"	5
W4	2X10 HEADER	8'-0"	2
W5	DOOR/WIN TRIMMER	8'-0"	8
W6	2X6 HEADER	16'-0"	2
W9	4'X8', O.S.B.	7/16" X 4' X 8'	13

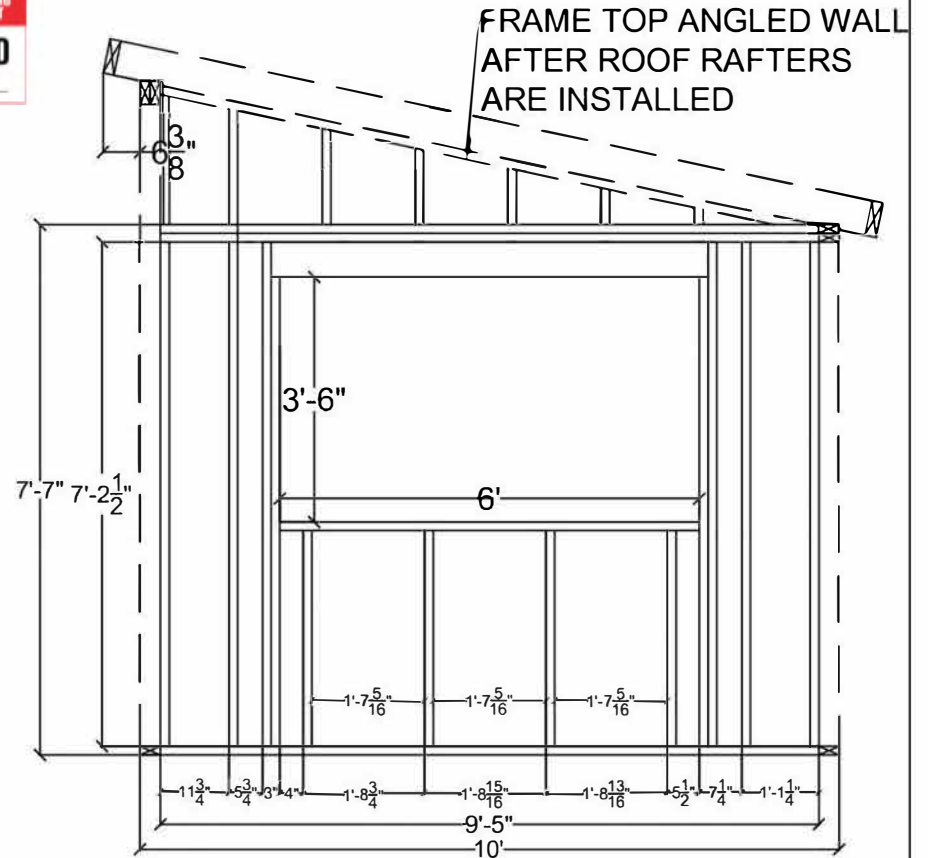


REAR FRAMING PLAN

V-24-029

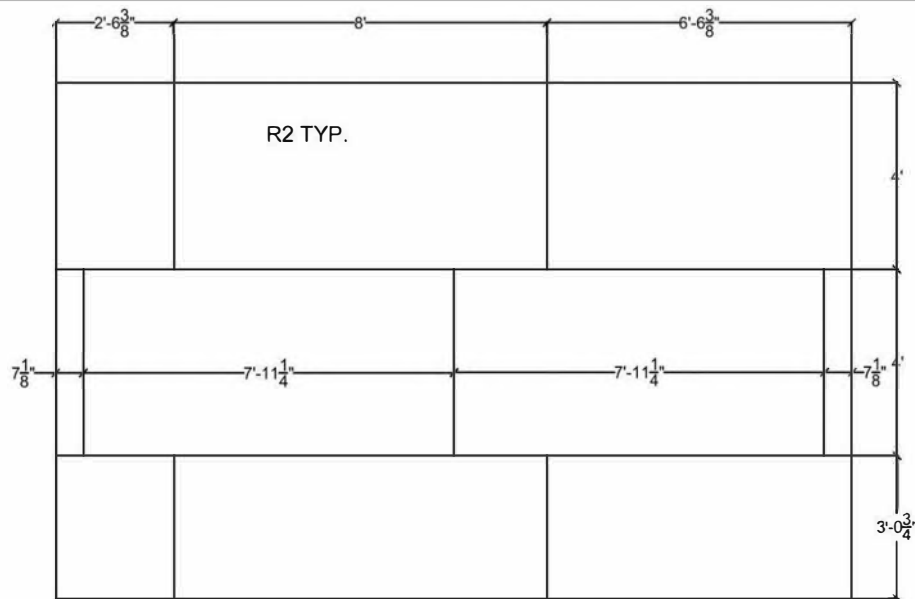


LEFT WALL FRAMING PLAN



RIGHT WALL FRAMING PLAN

WALL FRAMING PLANS 6.1



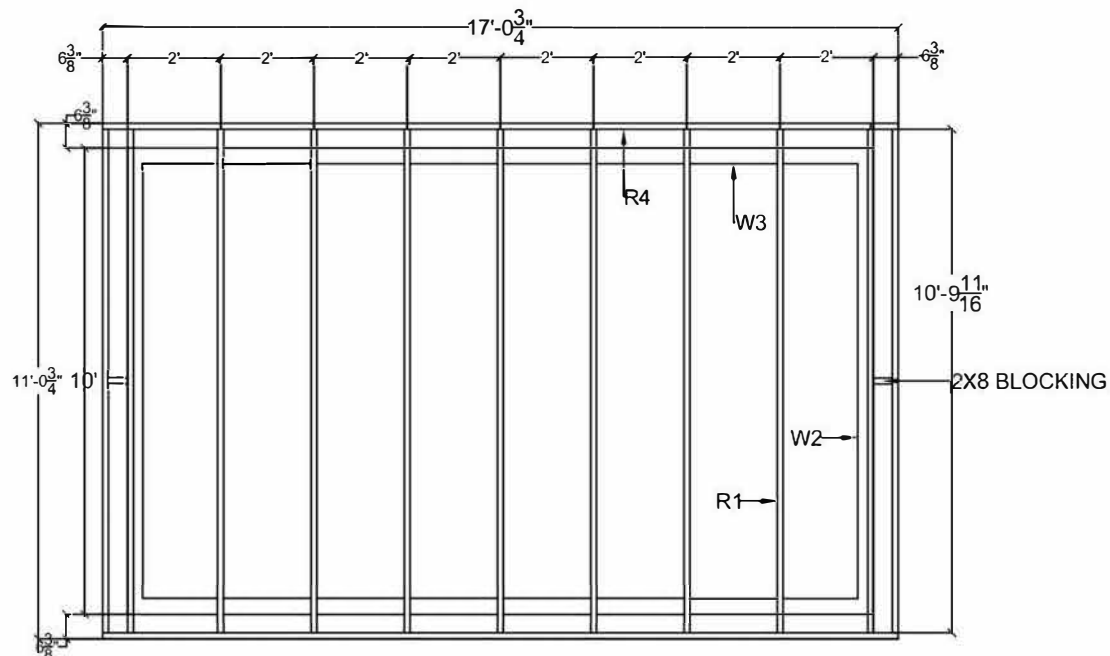
V-24-029

OFFICE OF ZONING
& DEVELOPMENT

RECEIVED

DATE: 2/16/2024

ROOF SHEETING PLAN



ROOF FRAMING MATERIALS

CODE	DESCRIPTION	LENGTH	QTY.
R1	2X8 RAFTER	10'-9 ¹¹ / ₁₆ "	11
R2*	O.S.B. ROOF SHEETING	4'X8'X1/2"	10
R4	2X8 SUB FASCIA	17'-0 ³ / ₄ "	2

ROOF FRAMING PLAN

RELEASED FOR CONSTRUCTION

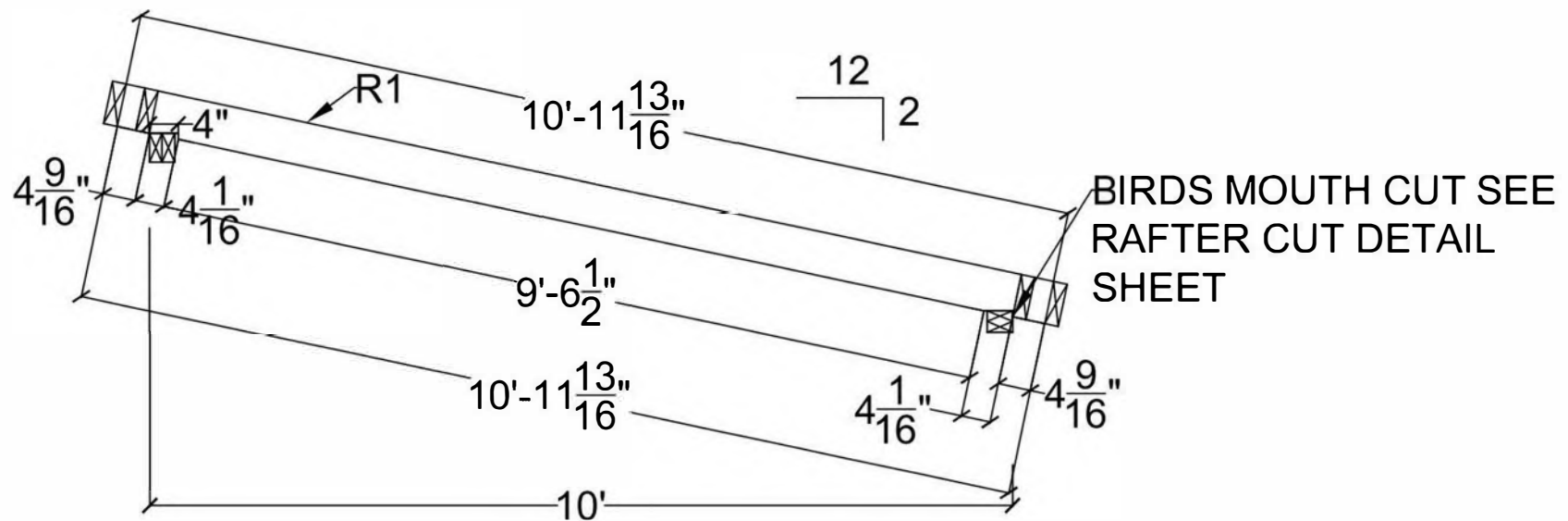
ROOF SHEETING & FRAMING PLAN 7

V-24-029

OFFICE OF ZONING
& DEVELOPMENT

RECEIVED

DATE: 2/16/2024



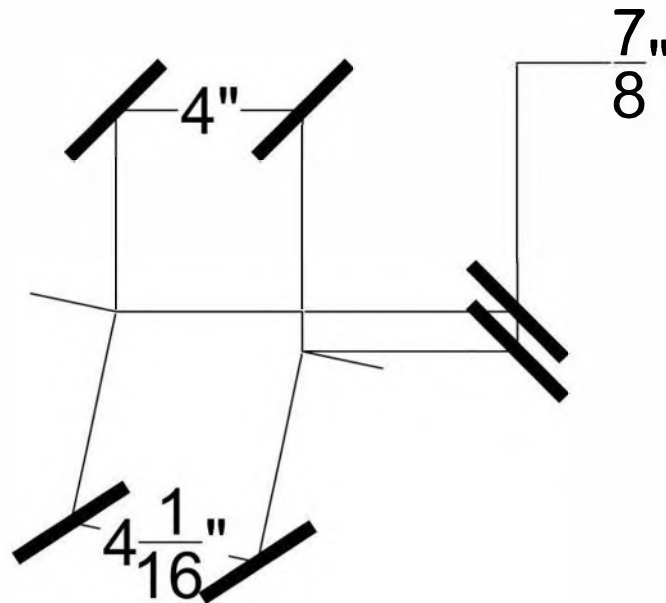
RAFTER DETAIL (R1) - 10' SPAN

ROOF RAFTER DETAILS 7.1

V-24-029



2X8 RAFTER



VERIFY THAT
PRINTED
DIMENSIONS ARE TO
SCALE BEFORE
USING TEMPLATE

NOTE: MAKE A
BIRDSMOUTH CUT AT
EACH END OF THE
ROOF RAFTERS AS
SHOWN ON THE
RAFTERS DETAIL
SHEET

2 / 12 RAFTER
BIRDSMOUTH
TEMPLATE - MODERN
SHED

CUT OUT TEMPLATE
LAY TEMPLATE ON RAFTER TRACE BIRDS MOUTH
AND CUT ALONG LINES.
BE CAREFUL TO FINISH BIRDSMOUTH CUT WITH
COPING SAW.

RELEASED FOR CONSTRUCTION

BIRDSMOUTH TEMPLATE

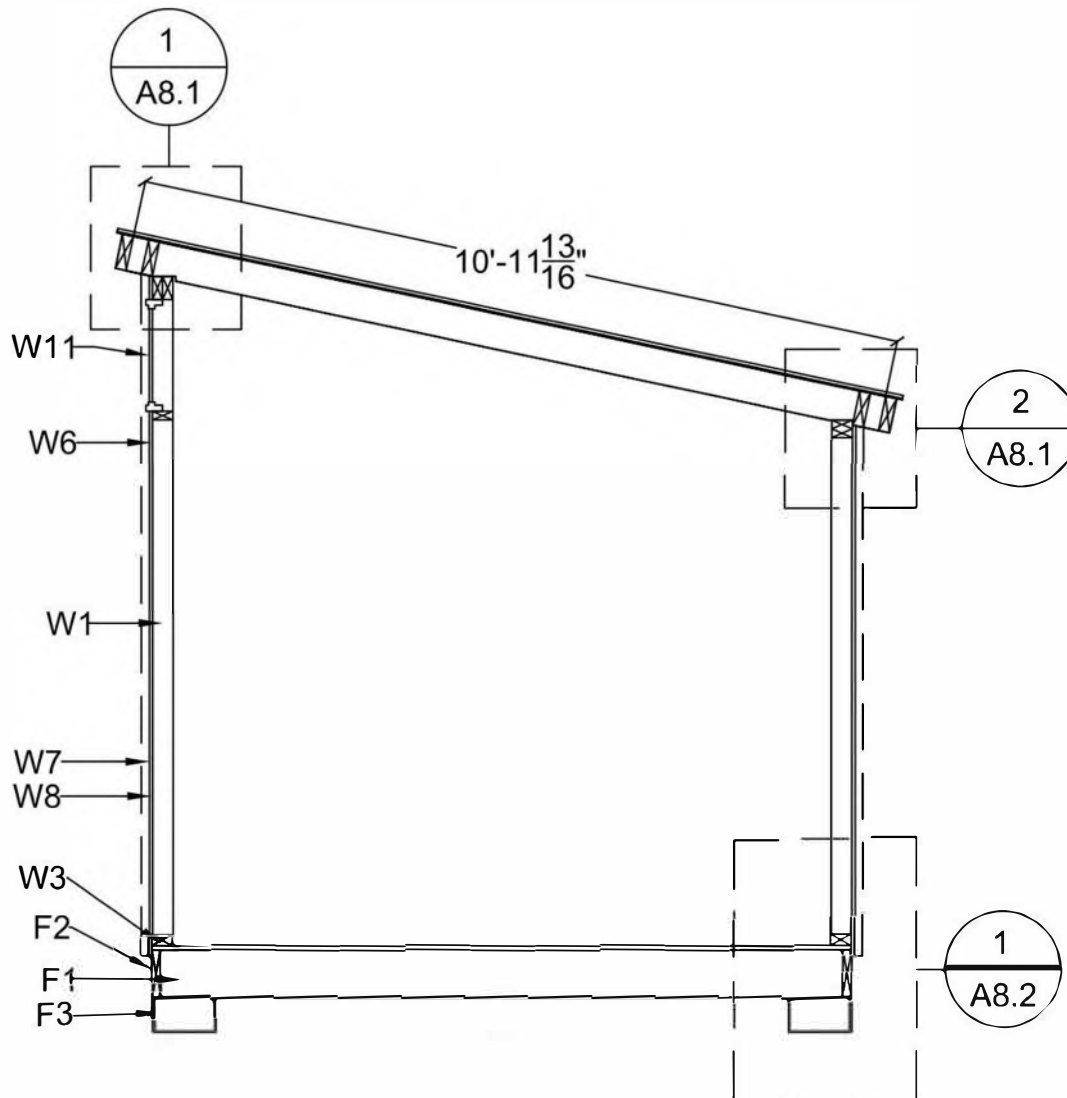
7.2

V-24-029

OFFICE OF ZONING
& DEVELOPMENT

RECEIVED

DATE: 2/16/2024

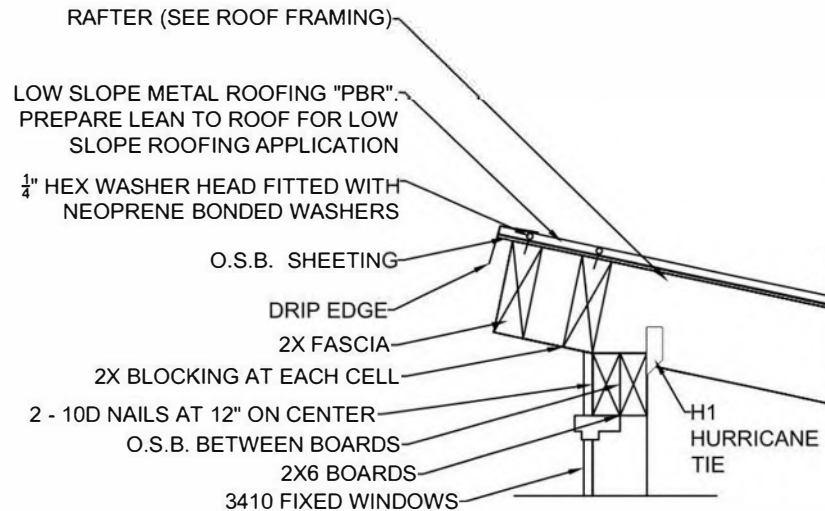


BUILDING SECTION

RELEASED FOR CONSTRUCTION

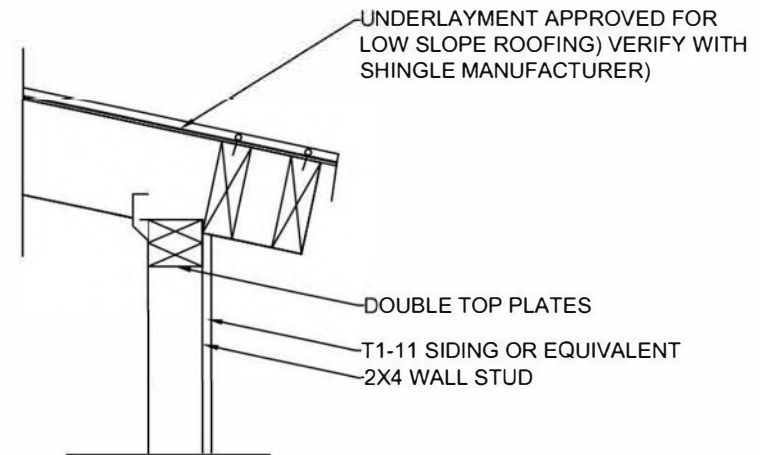
SECTION 8

V-24-029



METAL ROOF RAFTER EVE DETAIL
- OPEN SOFFIT (1)

1



METAL ROOF RAFTER EVE
DETAIL- OPEN SOFFIT (2)

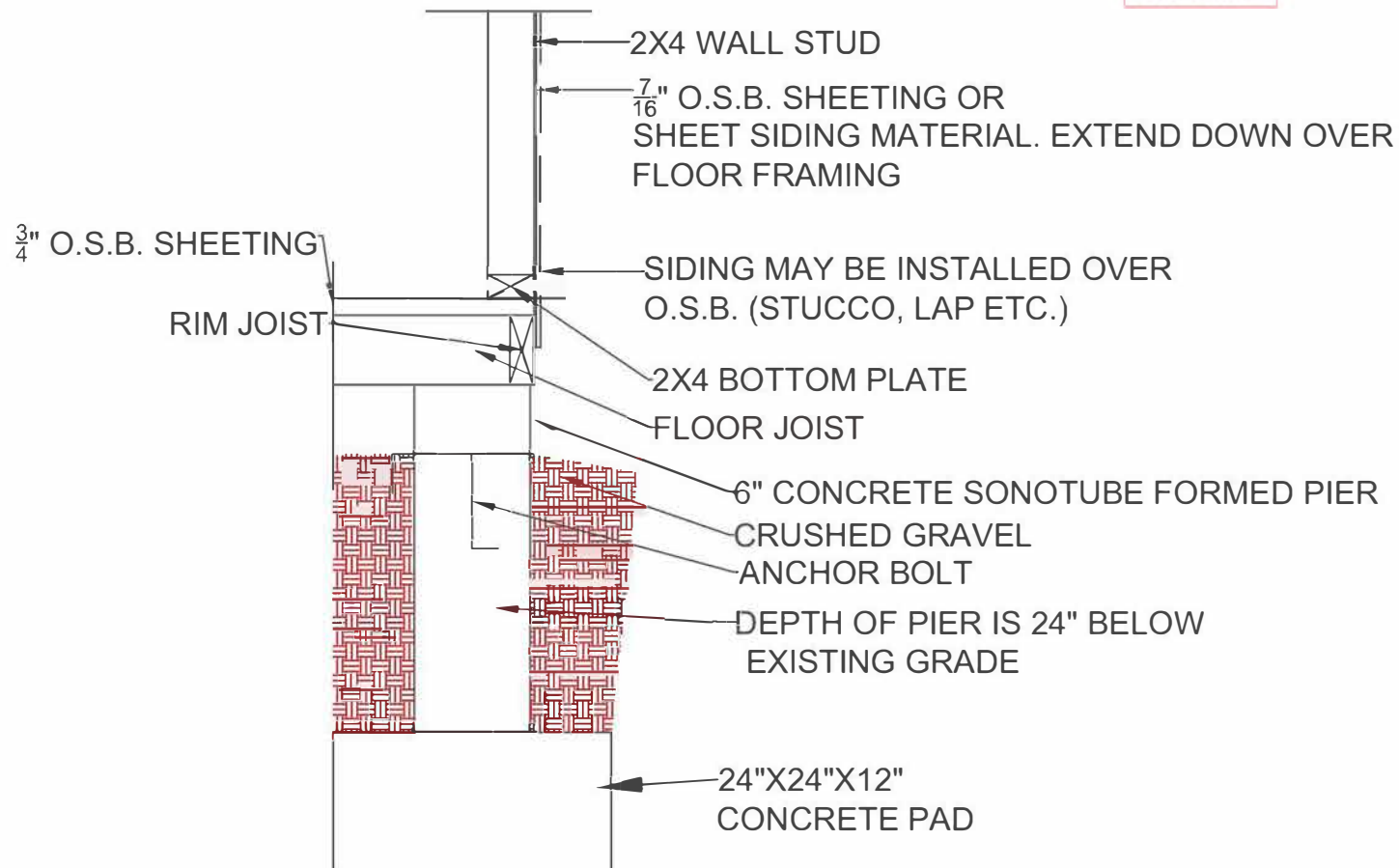
2

V-24-029

OFFICE OF ZONING
& DEVELOPMENT

RECEIVED

DATE: 2/16/2024



FOUNDATION SECTION 8.2

V-24-029
OFFICE OF LAND & NATURAL RESOURCES
RECEIVED
DATE: 2/26/2024



V-24-029

OFFICE OF ZONING
& DEVELOPMENT

RECEIVED

DATE: 2/16/2024



V-24-029
OFFICE OF JUDICIAL
ADMINISTRATION
RECEIVED
DATE: 3/26/2024



V-24-029

City of Raleigh
**OFFICE OF ZONING
& DEVELOPMENT**

RECEIVED

DATE: 2/16/2024







EAST

V-24-029
RECEIVED
DATE: 2/26/2024

Location of proposed
project build

SOUTH

NORTH

WEST

RECEIPT

CITY OF ATLANTA
DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
55 TRINITY AVE SW, ATLANTA GA 30303
404-330-6070



Application: V-24-029
Application Type: Planning/BZA/Variance/NA
Address: 471 CLIFTON RD NE, ATLANTA, GA 30307
Owner Name: PETER DAVID B
Owner Address:
Application Name:

Receipt No.	908821					
Payment Method	Ref Number	Amount Paid	Payment Date	Cashier ID	Received	Comments
Credit Card		\$100.00	02/16/2024	PUBLICUSER0		

Owner Info.: PETER DAVID B

Work Description: The applicant is seeking a Variance from the zoning ordinance to (1) Reduce the rear yard setback from 15ft to 4ft.

- Received / Acknowledged Application
- No Response



471 Clifton Rd NE Atlanta, GA 30307
Courtney and Christian Weil
(404) 397-3803 - Courtney cell
court.weil12@gmail.com

March 2, 2024

Re: Proposed Zoning Variance & Additions to 471 Clifton Rd NE / V-24-029

Dear Neighbor,

We are planning to add a stand alone studio in the rear of our property. It will be approx 10ft x 16ft. We are applying for a variance from the City of Atlanta to reduce our backyard setback from 15ft to 4ft. The new studio will fit in with existing structures in our yard as well as our neighbor's yards. It should be noted that we are not proposing to encroach any farther in the back yard setback than any of the structures on our property or our neighbors properties already do. All garages along the alley behind our property sit directly on the back yard property lines. The new structure will not interfere with any of the traffic in the alleyway, nor will we need to use the alleyway for construction. We are requesting this variance because if we built the studio 15ft from our back property line the studio would be in the middle of our backyard.

We are committed to building a beautiful structure that will only add the value of our property, and thus the neighborhood.

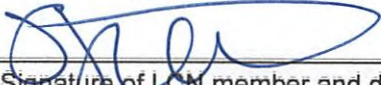
These plans will be presented first at the Thursday, March 21st meeting of the Lake Claire Neighbors (LCN). That meeting will be held via Zoom at 7:15pm. After that, these plans will be presented at the Neighborhood Planning Unit - N (NPU-N) meeting on Thursday, March 28th at 7pm, via Zoom.

Should you have any questions about this project, please feel free to contact us at the contact information listed above.

Sincerely,
Courtney & Christian

Acknowledgement of Notification:

- ☒ I have been made aware of the variance request V-24-029 and given the opportunity to comment on the proposal.
- ☐ I have additional questions.
- ☐ I have been informed but have no opinion.

 3/7/2024
<Signature of LCN member and date>

Natalie Rogovin
<Printed Name of LCN member>

476 Hardendorf Ave. 30307
<Address of LCN member>

471 Clifton Rd NE Atlanta, GA 30307
Courtney and Christian Weil
(404) 397-3803 - Courtney cell
court.weil12@gmail.com

March 2, 2024

Re: Proposed Zoning Variance & Additions to 471 Clifton Rd NE / V-24-029

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We are planning to add a stand alone studio in the rear of our property. It will be approx 10ft x 16ft. We are applying for a variance from the City of Atlanta to reduce our backyard setback from 15ft to 4ft. The new studio will fit in with existing structures in our yard as well as our neighbor's yards. It should be noted that we are not proposing to encroach any farther in the back yard setback than any of the structures on our property or our neighbors properties already do. All garages along the alley behind our property sit directly on the back yard property lines. The new structure will not interfere with any of the traffic in the alleyway, nor will we need to use the alleyway for construction. We are requesting this variance because if we built the studio 15ft from our back property line the studio would be in the middle of our backyard.

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Should you have any questions about this project, please feel free to contact us at the contact information listed above.

Sincerely,
Courtney & Christian

Acknowledgement of Notification:

☒ I have been made aware of the variance request V-24-029 and given the opportunity to comment on the proposal.

☐ I have additional questions.

☐ I have been informed but have no opinion.

Kathleen Wagner
<Signature of LCN member and date >

Kathleen Wagner
<Printed Name of LCN member>

465 Clifton Rd NE ATL 30307
<Address of LCN member>

471 Clifton Rd NE Atlanta, GA 30307
Courtney and Christian Weil
(404) 397-3803 - Courtney cell
court.weil12@gmail.com

March 2, 2024

Re: Proposed Zoning Variance & Additions to 471 Clifton Rd NE / V-24-029

Dear Neighbor,

We are planning to add a stand alone studio in the rear of our property. It will be approx 10ft x 16ft. We are applying for a variance from the City of Atlanta to reduce our backyard setback from 15ft to 4ft. The new studio will fit in with existing structures in our yard as well as our neighbor's yards. It should be noted that we are not proposing to encroach any farther in the back yard setback than any of the structures on our property or our neighbors properties already do. All garages along the alley behind our property sit directly on the back yard property lines. The new structure will not interfere with any of the traffic in the alleyway, nor will we need to use the alleyway for construction. We are requesting this variance because if we built the studio 15ft from our back property line the studio would be in the middle of our backyard.

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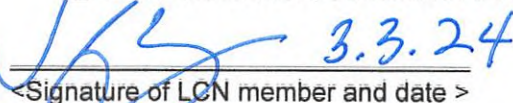
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Should you have any questions about this project, please feel free to contact us at the contact information listed above.

Sincerely,
Courtney & Christian

Acknowledgement of Notification:

- ☒ I have been made aware of the variance request V-24-029 and given the opportunity to comment on the proposal.
- ☐ I have additional questions.
- ☐ I have been informed but have no opinion.

 3.3.24
<Signature of LCN member and date >

Jennifer R. Riley
<Printed Name of LCN member>

482 Clifton Rd, NE
<Address of LCN member>

Atlanta, GA 30307

471 Clifton Rd NE Atlanta, GA 30307
Courtney and Christian Weil
(404) 397-3803 - Courtney cell
court.weil12@gmail.com

March 2, 2024

Re: Proposed Zoning Variance & Additions to 471 Clifton Rd NE / V-24-029

Dear Neighbor,

We are planning to add a stand alone studio in the rear of our property. It will be approx 10ft x 16ft. We are applying for a variance from the City of Atlanta to reduce our backyard setback from 15ft to 4ft. The new studio will fit in with existing structures in our yard as well as our neighbor's yards. It should be noted that we are not proposing to encroach any farther in the back yard setback than any of the structures on our property or our neighbors properties already do. All garages along the alley behind our property sit directly on the back yard property lines. The new structure will not interfere with any of the traffic in the alleyway, nor will we need to use the alleyway for construction. We are requesting this variance because if we built the studio 15ft from our back property line the studio would be in the middle of our backyard.

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Sincerely,
Courtney & Christian

Acknowledgement of Notification:

- ☒ I have been made aware of the variance request V-24-029 and given the opportunity to comment on the proposal.
- ☐ I have additional questions.
- ☐ I have been informed but have no opinion.


<Signature of LCN member and date >

Brett J. White
<Printed Name of LCN member>

471 Clifton Rd NE
<Address of LCN member>

471 Clifton Rd NE Atlanta, GA 30307
Courtney and Christian Weil
(404) 397-3803 - Courtney cell
court.weil12@gmail.com

March 2, 2024

Re: Proposed Zoning Variance & Additions to 471 Clifton Rd NE / V-24-029

Dear Neighbor,

We are planning to add a stand alone studio in the rear of our property. It will be approx 10ft x 18ft. We are applying for a variance from the City of Atlanta to reduce our backyard setback from 15ft to 4ft. The new studio will fit in with existing structures in our yard as well as our neighbor's yards. It should be noted that we are not proposing to encroach any farther in the back yard setback than any of the structures on our property or our neighbors properties already do. All garages along the alley behind our property sit directly on the back yard property lines. The new structure will not interfere with any of the traffic in the alleyway, nor will we need to use the alleyway for construction. We are requesting this variance because if we built the studio 15ft from our back property line the studio would be in the middle of our backyard.

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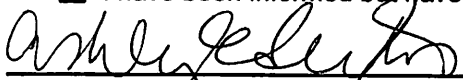
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Sincerely,
Courtney & Christian

Acknowledgement of Notification:

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- ☐ I have additional questions.
- ☐ I have been informed but have no opinion.



<Signature of LCN member and date >

Ashley Sexton

<Printed Name of LCN member>

475 Clifton Rd NE

<Address of LCN member>

471 Clifton Rd NE Atlanta, GA 30307
Courtney and Christian Weil
(404) 397-3803 - Courtney cell
court.weil12@gmail.com

March 2, 2024

Re: Proposed Zoning Variance & Additions to 471 Clifton Rd NE / V-24-029

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Sincerely,
Courtney & Christian

Acknowledgement of Notification:

- ☒ I have been made aware of the variance request V-24-029 and given the opportunity to comment on the proposal.
- ☐ I have additional questions.
- ☐ I have been informed but have no opinion.


<Signature of LCN member and date >

Annalee Sellers
<Printed Name of LCN member>

472 Hardendorf Avenue
<Address of LCN member>

471 Clifton Rd NE Atlanta, GA 30307
Courtney and Christian Weil
(404) 397-3803 - Courtney cell
court.weil12@gmail.com

March 2, 2024

Re: Proposed Zoning Variance & Additions to 471 Clifton Rd NE / V-24-029

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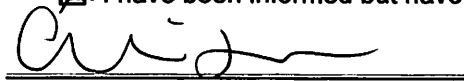
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Sincerely,
Courtney & Christian

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- ☐ I have additional questions.
- ☒ I have been informed but have no opinion.


<Signature of LCN member and date >

Allison Thompson
<Printed Name of LCN member>

471 Clifton Rd NE
<Address of LCN member>

471 Clifton Rd NE Atlanta, GA 30307
Courtney and Christian Well
(404) 397-3803 - Courtney cell
court.well12@gmail.com

March 2, 2024

Re: Proposed Zoning Variance & Additions to 471 Clifton Rd NE / V-24-029

Dear Neighbor,

We are planning to add a stand alone studio in the rear of our property. It will be approx 10ft x 16ft. We are applying for a variance from the City of Atlanta to reduce our backyard setback from 15ft to 4ft. The new studio will fit in with existing structures in our yard as well as our neighbor's yards. It should be noted that we are not proposing to encroach any farther in the back yard setback than any of the structures on our property or our neighbors properties already do. All garages along the alley behind our property sit directly on the back yard property lines. The new structure will not interfere with any of the traffic in the alleyway, nor will we need to use the alleyway for construction. We are requesting this variance because if we built the studio 15ft from our back property line the studio would be in the middle of our backyard.

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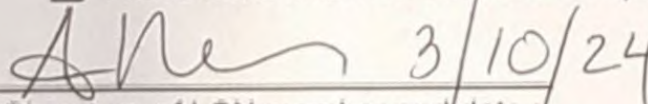
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- ☐ I have been informed but have no opinion.


<Signature of LCN member and date >

Ann Marra
<Printed Name of LCN member>

462 Clifton Rd NE
<Address of LCN member>

471 Clifton Rd NE Atlanta, GA 30307
Courtney and Christian Weil
(404) 397-3803 - Courtney cell
court.weil12@gmail.com

March 2, 2024

Re: Proposed Zoning Variance & Additions to 471 Clifton Rd NE / V-24-029

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Sincerely,
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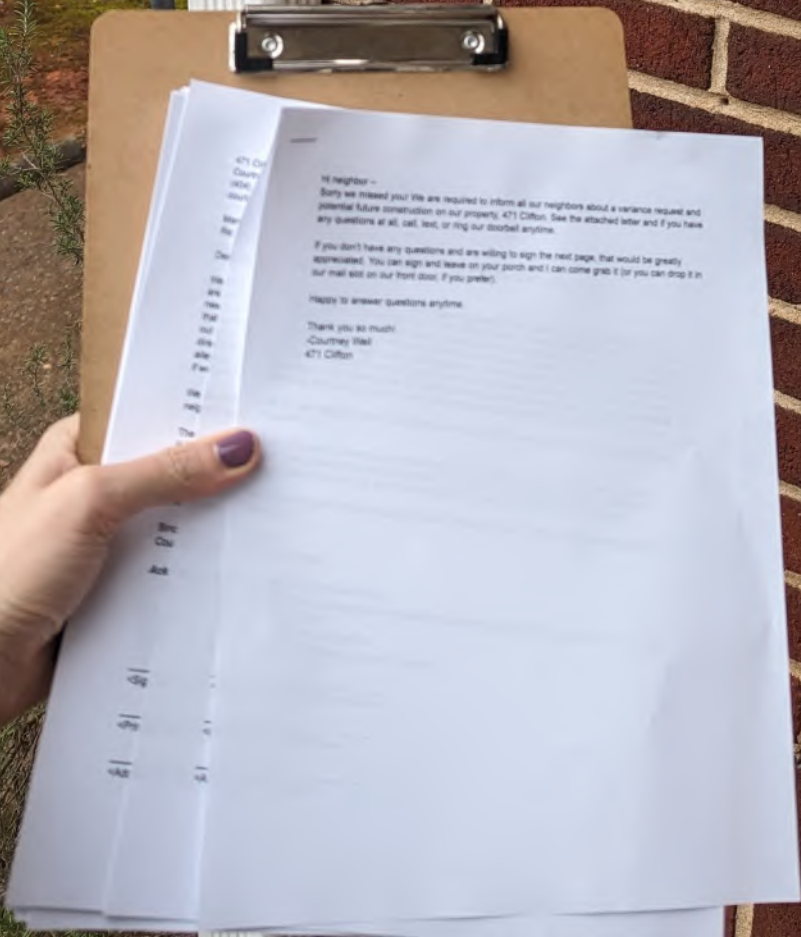
Linda Howard - 3/11/2024
<Signature of LCN member and date >

LINDA HOWARD
<Printed Name of LCN member>

455 CLIFTON RD
<Address of LCN member>

456 Hardendorf

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5
6



471 Clifton
Courtney Wall
471 Clifton
Neighborhood
Dear
We are
neighboring
that
will
also
if we
the
reg.
The
Bldg
Civ
Adm

Hi neighbor -
Sorry we missed you! We are required to inform all our neighbors about a variance request and potential future construction on our property, 471 Clifton. See the attached letter and if you have any questions at all, call, text, or ring our doorbell anytime.
If you don't have any questions and are willing to sign the next page, that would be greatly appreciated. You can sign and leave on your porch and I can come grab it (or you can drop it in our mail slot on our front door, if you prefer).
Happy to answer questions anytime.
Thank you so much!
Courtney Wall
471 Clifton

461 Clifton

471 Clifton Rd NE Atlanta, GA 30307
Courtney and Christian Weil
(404) 367-3903 - Courtney cell
courtweil12@gmail.com

March 2, 2024
Re: Proposed Zoning Variance & Additions to 471 Clifton Rd NE / V-24-029

Dear Neighbor,

We are planning to add a stand alone studio in the rear of our property. It will be approx 10ft x 16ft. We are applying for a variance from the City of Atlanta to reduce our backyard setback from 15ft to 4ft. The new studio will fit in with existing structures in our yard as well as our neighbor's yards. It should be noted that we are not proposing to encroach any farther in the back yard setback than any of the structures on our property or our neighbors properties already do. All garages along the alley behind our property sit directly on the back yard property lines. The new structure will not interfere with any of the traffic in the alleyway, nor will we need to use the alleyway for construction. We are requesting this variance because if we built the studio 15ft from our back property line the studio would be in the middle of our backyard.

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Sincerely,
Courtney & Christian

Acknowledgement of Notification:

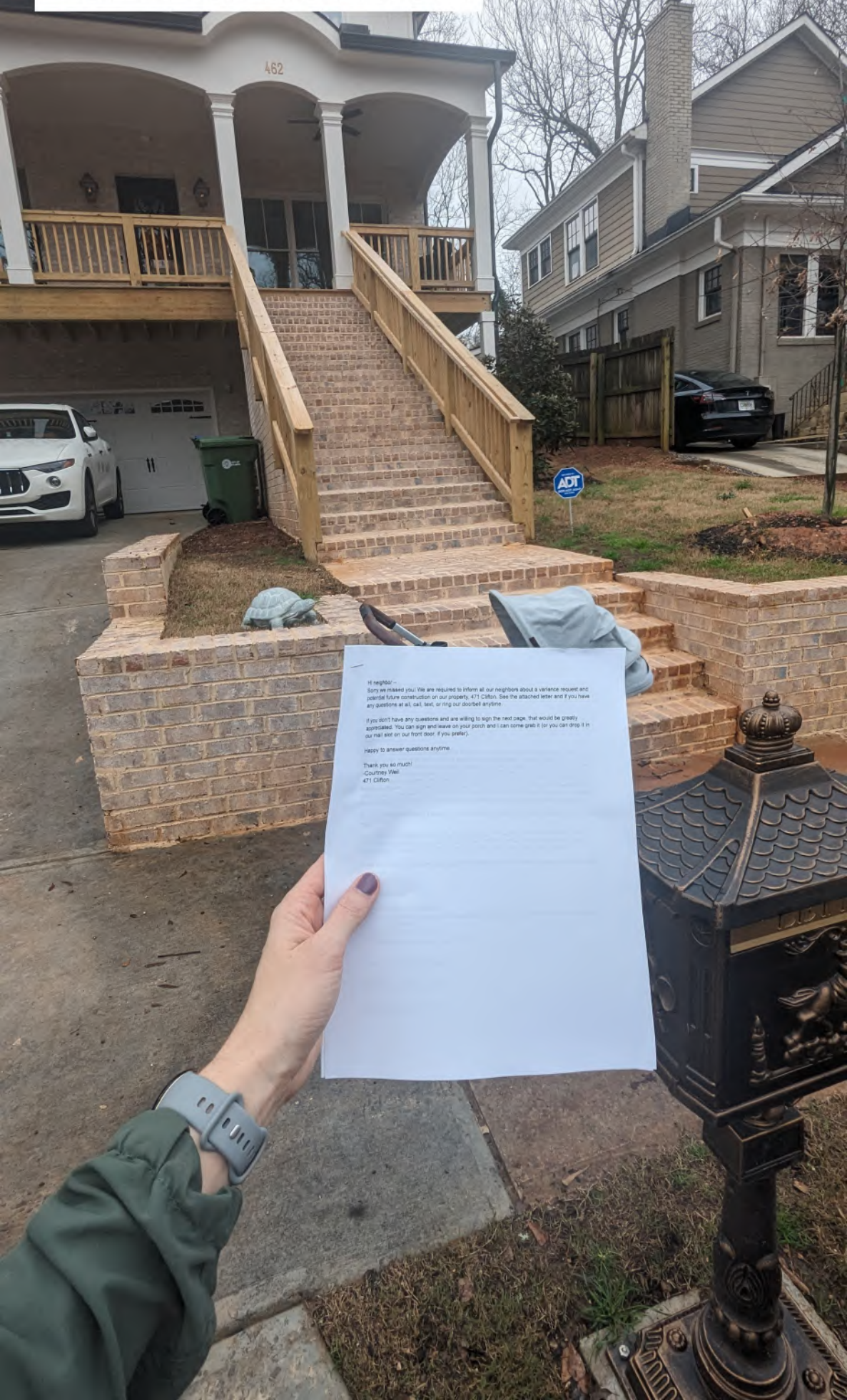
- ☐ I have been made aware of the variance request V-24-029 and given the opportunity to comment on the proposal.
☐ I have additional questions.
☐ I have been informed but have no opinion.

<Signature of LCN member and date >

<Printed Name of LCN member>

<Address of LCN member>

462 Hardendorf



Hi neighbor--
Sorry we missed you! We are required to inform all our neighbors about a variance request and potential future construction on our property, 471 Clifton. See the attached letter and if you have any questions at all, call, text, or ring our doorbell anytime.

If you don't have any questions and are willing to sign the next page, that would be greatly appreciated! You can sign and leave on your porch and I can come grab it (or you can drop it in our mail slot on our front door, if you prefer).

Happy to answer questions anytime.

Thank you so much!
Courtney Weil
471 Clifton

466 Clifton

4
6
6

Hi neighbor--

Sorry we missed you! We are required to inform all our neighbors about a variance request and potential future construction on our property, 471 Clifton. See the attached letter and if you have any questions at all, call, text, or ring our doorbell anytime.

If you don't have any questions and are willing to sign the next page, that would be greatly appreciated. You can sign and leave on your porch and I can come grab it (or you can drop it in our mail slot on our front door, if you prefer).

Happy to answer questions anytime.

Thank you so much!
-Courtney Weil
471 Clifton

466 Hardendorf

466

Hi neighbor –
Sorry we missed you! We are required to inform all our neighbors about a variance request and potential future construction on our property, 471 Clifton. See the attached letter and if you have any questions at all, call, text, or ring our doorbell anytime.

If you don't have any questions and are willing to sign the next page, that would be greatly appreciated. You can sign and leave on your porch and I can come grab it (or you can drop it in our mail slot on our front door, if you prefer).

Happy to answer questions anytime.

Thank you so much!
-Courtney Wall
471 Clifton

470 Clifton

4
7
0



Hi Neighbor -
Sorry we missed you! We are required to inform all our neighbors about a waterline repair and
potential future concern for our property 471 Clifton. Please the attached plan and if you have
any questions at all, call, text, or ring but don't disturb anyone.
If you don't have any questions and are willing to sign the next page, that would be greatly
appreciated. You can sign and leave in your pocket and I can come grab it for you - that way I'll
not have to be in your house, thank you so much.
Please to answer questions anytime.
Thank you so much!
Chloe
471 Clifton

Hi Neighbor -
Sorry we missed you! We are required to inform all our neighbors about a waterline repair and
potential future concern for our property 471 Clifton. Please the attached plan and if you have
any questions at all, call, text, or ring but don't disturb anyone.
If you don't have any questions and are willing to sign the next page, that would be greatly
appreciated. You can sign and leave in your pocket and I can come grab it for you - that way I'll
not have to be in your house, thank you so much.
Please to answer questions anytime.
Thank you so much!
Chloe
471 Clifton

472 Clifton

Hi neighbor –

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Happy to answer questions anytime.

Thank you so much!

-Courtney Weil

471 Clifton



482 Hardendorf



471 Clifton Rd NE Atlanta, GA 30307
Courtney and Christian Hill
(404) 307-3853 - Courtney cell
court.hill12@gmail.com

March 2, 2024
Re: Proposed Zoning Variance & Additions to 471 Clifton Rd NE / V-24-029

Dear Neighbor,

We are planning to add a stand alone studio in the rear of our property. It will be approx 108 x 16ft. We are applying for a variance from the City of Atlanta to reduce our backyard setback from 15ft to 4ft. The new studio will fit in with existing structures in our yard as well as our neighbor's yards. It should be noted that we are not proposing to encroach any further in the back yard setback than any of the structures on our property or our neighbors properties already do. All garages along the alley behind our property sit directly on the back yard property lines. The new structure will not interfere with any of the traffic in the alleyway, nor will we need to use the alleyway for construction. We are requesting this variance because if we built the studio 15ft from our back property line the studio would be in the middle of our backyard.

We are committed to building a beautiful structure that will only add the value of our property, and thus the neighborhood.

These plans will be presented first at the Thursday, March 21st meeting of the Lake Claire Neighbors (LCN). That meeting will be held via Zoom at 7:15pm. After that, these plans will be presented at the Neighborhood Planning Unit - N (NPLU-N) meeting on Thursday, March 28th at 7pm, via Zoom.

Should you have any questions about this project, please feel free to contact us at the contact information listed above.

Sincerely,
Courtney & Christian

Acknowledgement of Notification:
☐ I have been made aware of the proposal
☐ I have additional questions
☐ I have been informed but have no opinion

Signature of LCN member and date _____
<Printed Name of LCN member> _____
<Address of LCN member> _____