



OFFICE OF ZONING AND DEVELOPMENT
55 Trinity Avenue S.W., Suite 3350
Atlanta, Georgia 30303
(404) 330-6145

APPLICATION #: **V-24-222**

DATE ACCEPTED: **11/15/2024**

NOTICE TO APPLICANT

Address of Property:

1776 Marlbrook DR NE

City Council District: **5** Neighborhood Planning Unit (NPU): **N**

Board of Zoning Adjustment (BZA) Hearing Date:

Thursday, January 16, 2025 at 12:00 p.m.

Council Chambers, 2nd Floor, City Hall
55 Trinity Avenue, S.W.

The contact person for NPU N is:

Amy Stout
404-392-3422
npunchair@gmail.com

Contact info for adjacent NPUs is provided below if necessary:

Please click the link below to access the directory designated as the "meeting location."

www.atlantaga.gov/government/departments/city-planning/neighborhood-planning-units/neighborhood-and-npu-contacts

Please contact the person(s) listed above within five days to find out which meetings you will be required to attend before the next NPU meeting. If you are unable to reach the contact person, please call the city's NPU Coordinator at 404-330-6637.

Signed,

Johnny Wilson

JW, for Director, Office of Zoning and
Development

Nina E Gentry

Nina E Gentry

V-24-222



RECEIVED

DATE: 11/15/2024



APPLICATION FOR BOARD OF ZONING ADJUSTMENT

Please mark "X" next to the type of application(s) you are submitting:

Variance	X
Special Exception	X
Variance & Special Exception	

Date Filed _____ Application Number _____

Name of Applicant Nina Gentry Daytime Phone 404-218-5730

Company Name (if applicable) Gentry Planning Services, LLC email gps2015@comcast.net

Address 992 Eden Ave SE Atlanta GA 30316
street city state zip code

Name of Property Owner Joe Warras and Jessica Luna Phone 770-490-2526
404-430-8786

Address 1776 Marlbrook Drive NE Atlanta GA 30307
street city state zip code

Description of Property

Address of Property 1776 Marlbrook Drive NE Atlanta GA 30307
street city state zip code

Area: 6,791.7 SF Land Lot: 238 District: 15, DeKalb County, GA.

Property is zoned: R-4, Council District: 5, Neighborhood Planning Unit (NPU): N

TO THE BOARD OF ZONING ADJUSTMENT: Applicant, having received a preliminary plan review from the Office of Zoning and Development prior to seeking a building permit or certificate of occupancy, hereby requests that the Board of Zoning Adjustment grant a Variance or Special Exception.

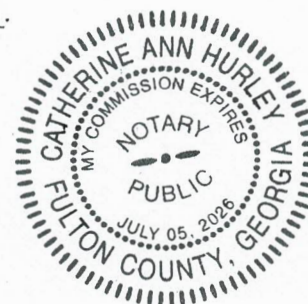
I hereby authorize the staff of the Office of Zoning and Development to inspect the premises of the above-described property. I understand that it is my responsibility to post a public notice sign on the property according to the instructions given to me by the Office of Zoning and Development upon filing this application. I swear that all statements herein and attached hereto are true and correct to the best of my knowledge and belief.

Nina E Gentry
Owner or Agent for Owner (Applicant)

Nina E. Gentry
Print Name of Owner

Sworn To And Subscribed Before Me This 8th Day Of Nov, 2021.

Catherine Ann Hurley
NOTARY PUBLIC



V-24-222



City of Atlanta
Department of City Planning
Office of Zoning and Development
55 Trinity Avenue, Suite 3350
Atlanta, Georgia 30303
Phone: 404-330-6145

BOARD OF ZONING ADJUSTMENT (BZA) REFERRAL FORM

DATE ISSUED: November 15, 2024

COUNCIL DISTRICT 5 NPU N APPLICATION NUMBER _____

Nina Gentry
Name of Applicant

SCOPE OF WORK

Renovations and second floor addition to an existing single-family dwelling.

at 1776 Marlbrook Drive NE 15-238
Street Address Quadrant District & Land Lot

to be used for **Residential** purposes. The property is zoned **R-4 Single-Family Residential District**

2. Prior to the issuance of a Building Permit, the applicant must seek a variance/special exception for the following reasons:

Applicant seeks a variance from the zoning ordinance to 1) reduce the front yard from the
required 35-feet to 14.8-feet, and 2) seeks a special exception from the zoning ordinance to
allow for a parking bay in the required front yard.

The Applicant has not requested additional variances/special exceptions based on application materials submitted.

1982 ZONING ORDINANCE, AS AMENDED

Chapter & Section: Chapter 6 Sec. 16-06.008(1)

Chapter & Section: Chapter 28 Sec. 16-28.008(7)(a)

Chapter & Section: _____

Brandon Johnson 11/15/2024
Plan Reviewer Date

Nina E Gentry 11/15/24
Applicant Date



SUMMARY & JUSTIFICATION FOR VARIANCES

Directions: Complete responses must be provided for ALL questions. Incomplete applications will not be accepted. The space below may be utilized or responses may be submitted as a separate attachment. Specific criteria for Board approval of variances may be found on page 7. The justification must address the criteria. Please submit a typewritten or legible justification.

Is the property described in this application subject to a pending application or ordinance for a Rezoning or Special Use Permit? _____ YES NO. (If yes, the variance/special exception request will be rescheduled to a hearing following the final approval by City Council & the Mayor). Please provide the relevant zoning application number associated with the subject property: _____.

Summary of proposed construction changes to buildings or site (shall not replace submittal of written criteria). (Examples: "Convert a 100' x 200' retail space into a restaurant." "Install a 6-foot high opaque wooden wall ('privacy fence' with 6-foot high opaque wall gates.").

Construction a second story addition over the existing footprint.

Proposed Lot Coverage (After Construction): Calculate total amount of lot coverage on entire property, after completion of proposed construction, including existing and proposed buildings and other structures; sidewalks, driveways, parking pads, patios, gravel, etc.; everything except natural planted or undisturbed areas.

1,987 covered square feet / 6,791.7 total lot square feet = 29.3 % proposed lot coverage

50 % maximum allowed lot coverage

Variance Criteria (see page 6 for detailed criteria): **SEE ATTACHED**

- 1) What are the extraordinary and exceptional conditions pertaining to the particular piece of property in question (size, shape or topography)? _____

- 2) How would the application of the Zoning Ordinance of the City of Atlanta to this particular piece of property create an unnecessary hardship? _____

- 3) What conditions are peculiar to this particular piece of property? _____

- 4) Submit facts to show that relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of the Zoning Ordinance of the City of Atlanta. _____



SUMMARY & JUSTIFICATION FOR SPECIAL EXCEPTIONS

Directions: Complete responses must be provided. Incomplete applications will not be accepted. The space below may only be utilized for the summary of proposal or responses may be submitted as a separate attachment. Specific criteria for Board approval of special exceptions may be found on page 9. **The justification must address the criteria. Please submit a separate justification for responses to the applicable special exception criteria.**

Is the property described in this application subject to a pending application or ordinance for a Rezoning or Special Use Permit? _____YES NO. (If yes, the variance/special exception request will be rescheduled to a hearing following the final approval by City Council & the Mayor.) Please provide the relevant zoning application number associated with the subject property: _____.

Summary of proposed special exception request (shall not replace submittal of written criteria). (Examples: "Installation of a swimming pool adjacent to the public right of way ("active recreation"), "Install a 6-foot high opaque wooden wall ('privacy fence' with 6-foot high opaque wall gates.").

Parking & Loading: List the hours and manner of operation for the proposed use, the maximum number of employees who will park on the site at any given time, and list the maximum estimated number of customers (visitors or similar persons) who will require automobile parking in connection with the use on the site at any given time. **If you are proposing off-site parking, see the attached Standards for off-site Parking Agreements (page 11).**

Walls and Fences: Any request for walls or fences should include a site plan and elevations showing the full extent of the wall or fence and a drawing showing a typical portion of the wall or fence including gates of ornamental fences. _____

Active Recreation: _____

Non-Conforming Uses & Structures (i.e. duplex): _____

All other Special Exception Requests: Allow an existing parking pad in the front yard setback to remain. The parking pad has been in place since the dwelling was constructed in the 1970s to provide off street parking for the property. This was due to the dwelling needing to be constructed closer to the street because of the topography. No change is proposed to the existing parking pad.



Variance Request
1776 Marlbrook Drive NE

1776 Marlbrook Drive NE is a nonconforming R-4 (single-family residential) zoned lot on the north side of Marlbrook Drive in the Lake Claire neighborhood, NPU-N, Council District 5. It consists of 49.98 feet of street frontage and 6,791.7 SF of land area. Both are less than what is required for properties zoned R-4, 70 feet of frontage and 9,000 SF of land area. The property is rectangular and the topography slopes down beginning at the façade of the dwelling to the rear property having a change in grade of approximately 20 feet. It is developed with a one-story dwelling with walkout basement. The existing lot coverage is 29.3% which is under the allowable 50% and will not increase with the proposed improvements.

The Owners are constructing a second story addition over the existing footprint. The dwelling encroaches into the east and west side yard setbacks, but a variance is not required for the addition of a second story because the height will meet code section 16.24-004(6ii). The mean height of the dwelling at the new roof ridgeline will be 27'-10". However, the dwelling encroaches into the front yard setback having a setback of 14.8 feet. Because the second story addition will include a portion of the area of the dwelling that encroaches into the front yard a setback reduction for the front yard is required. No trees are involved in the proposed improvements nor will the lot coverage be increased.

There is an existing parking pad in the front yard that has been in place since the home was constructed in the 1970s. Because of the topography the dwelling was constructed with a front yard setback of 14.8 feet limiting the ability to have a driveway that goes beyond the front façade of the dwelling. Therefore, to enable off street parking for the property the parking pad was constructed. No change is proposed to the parking pad.

Taking all the above into consideration the Owners respectfully ask the Board of Zoning Adjustment approve:

- A variance to decrease the front yard setback from 35 feet to the existing 14.8 feet, and
- A special exception to allow an existing parking pad in the front yard setback

Variance Justification

1. What are the extraordinary and exceptional conditions pertaining to the particular piece of property in question (size, shape or topography)?

The subject property has less frontage and land area than required for properties zoned R-4. It consists of 49.98 feet of frontage and 6,791.7 SF of land area. The topography has a change in grade front to back of approximately 20 feet. These are extraordinary and exceptional conditions pertaining to the size, shape and topography of the subject property.

2. How would the application of the Zoning Ordinance of the city of Atlanta to this particular piece of property create an unnecessary hardship?

An application of the zoning regulations would cause a hardship by preventing the proposed improvements or anything similar. Because the existing dwelling encroaches into the front yard setback it would be difficult to construct a useable second story and not need a variance. The second story addition will be within the existing foot print and the lot coverage will not increase. The Owners believe the proposed request is reasonable.

3. What conditions are peculiar to this particular piece of property?



The Owners have no knowledge of similar lot conditions on adjoining neighborhood properties. However, the existence of similar conditions on adjoining properties does not negate the desirability of the proposal.

4. Submit facts to show that relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of the Zoning Ordinance of the City of Atlanta.

The proposal would not impose upon the adequate light and/or air on the adjacent properties. Furthermore, the request would not pose a potential impediment on emergency access or threats to health and fire safety because the property has room for the requested improvements. The request allows an increase in the quality of life, which improves and reinforces the sustaining stability of the surrounding neighborhood. Relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of the Zoning Ordinance. The Owners feel the requested variance to be reasonable.

V-24-222



PROPOSED RENOVATIONS TO THE WARRAS+LUNA RESIDENCE 1776 MARLBROOK DRIVE ATLANTA, GEORGIA 30307

APPLICABLE CODES/YEAR

- IBC 2018 EDITION WITH GA AMENDMENTS (2020)
- IRC 2018 EDITION WITH GA AMENDMENTS (2020)
- IFC 2018 EDITION WITH GA AMENDMENTS (2020)
- IPC 2018 EDITION WITH GA AMENDMENTS (2020)
- IMC 2018 EDITION WITH GA AMENDMENTS (2020)
- IFGC 2018 EDITION WITH GA AMENDMENTS (2020)
- NEC 2020 EDITION WITH NO AMENDMENTS
- IECC 2015 EDITION WITH GA AMENDMENTS (2020)
- NFPA 101 LIFE SAFETY CODE 2018 WITH STATE AMENDMENTS (2020)

PROJECT DESCRIPTION:

PROPOSED FIRST FLOOR INTERIOR RENOVATION TO CREATE NEW PRIMARY SUITE; PROPOSED SECOND FLOOR AREA WITH NEW REAR-FACING SHED DORMER AT EXISTING ATTIC.

ZONING: R-4
BUILDING HEIGHT - FRONT: 23'-0"
BUILDING HEIGHT - REAR: 31'-6"
BUILDING HEIGHT - SIDE: 28'-6"
BUILDING HEIGHT - MEAN: 27'-10"
TOTAL SQ FTG: 1742 S.F. HEATED

OWNERS:

JOE WARRAS AND JESSICA LUNA
770-490-2526

CONTRACTOR:

SQUARE FOOTAGE SUMMARY

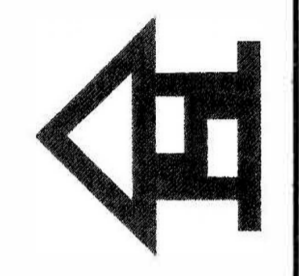
EXISTING FIRST FLOOR 1060 S.F.
EXISTING AREA TO BE REMOVED < 29 S.F.>
PROPOSED SECOND FLOOR 711 S.F.
TOTAL PROPOSED HEATED 1742 S.F.

TABLE OF CONTENTS

- SITE PLAN
- A-1 BASEMENT FLOOR PLAN
- A-2 FIRST FLOOR PLAN
- A-3 SECOND FLOOR PLAN
- A-4 FRONT ELEVATION
- A-5 REAR ELEVATION
- A-6 RIGHT SIDE ELEVATION
- A-7 LEFT SIDE ELEVATION
- A-8 TYPICAL WALL SECTION
- A-9 SECTION AT INTERIOR STAIR
- E-1 FIRST FLOOR ELECTRICAL PLAN
- E-2 SECOND FLOOR ELECTRICAL PLAN
- EX-1 AS-BUILT FLOOR PLAN
- EX-2 AS-BUILT FRONT/REAR ELEVATIONS
- EX-3 AS-BUILT RIGHT/LEFT SIDE ELEVATIONS
- S-1 AS-BUILT FOUNDATION PLAN
- S-2 FOUNDATION/FIRST FLOOR FRAMING PLAN
- S-3 SECOND FLOOR FRAMING PLAN
- S-4 CEILING JOIST FRAMING PLAN
- ROOF FRAMING PLAN

REVISIONS	BY

JOHN STEVEN CONWAY
ARCHITECT
404 378 5787
JSCONWAY@AOL.COM
307 GLENN CIRCLE
DECATUR, GA 30030

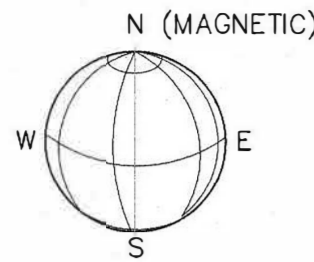
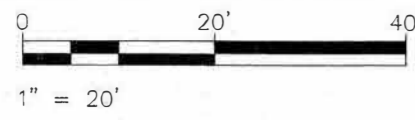


PROPOSED RENOVATIONS FOR
Joe Warras and Jessica Luna
1776 Marlbrook Drive, Atlanta, GA 30307

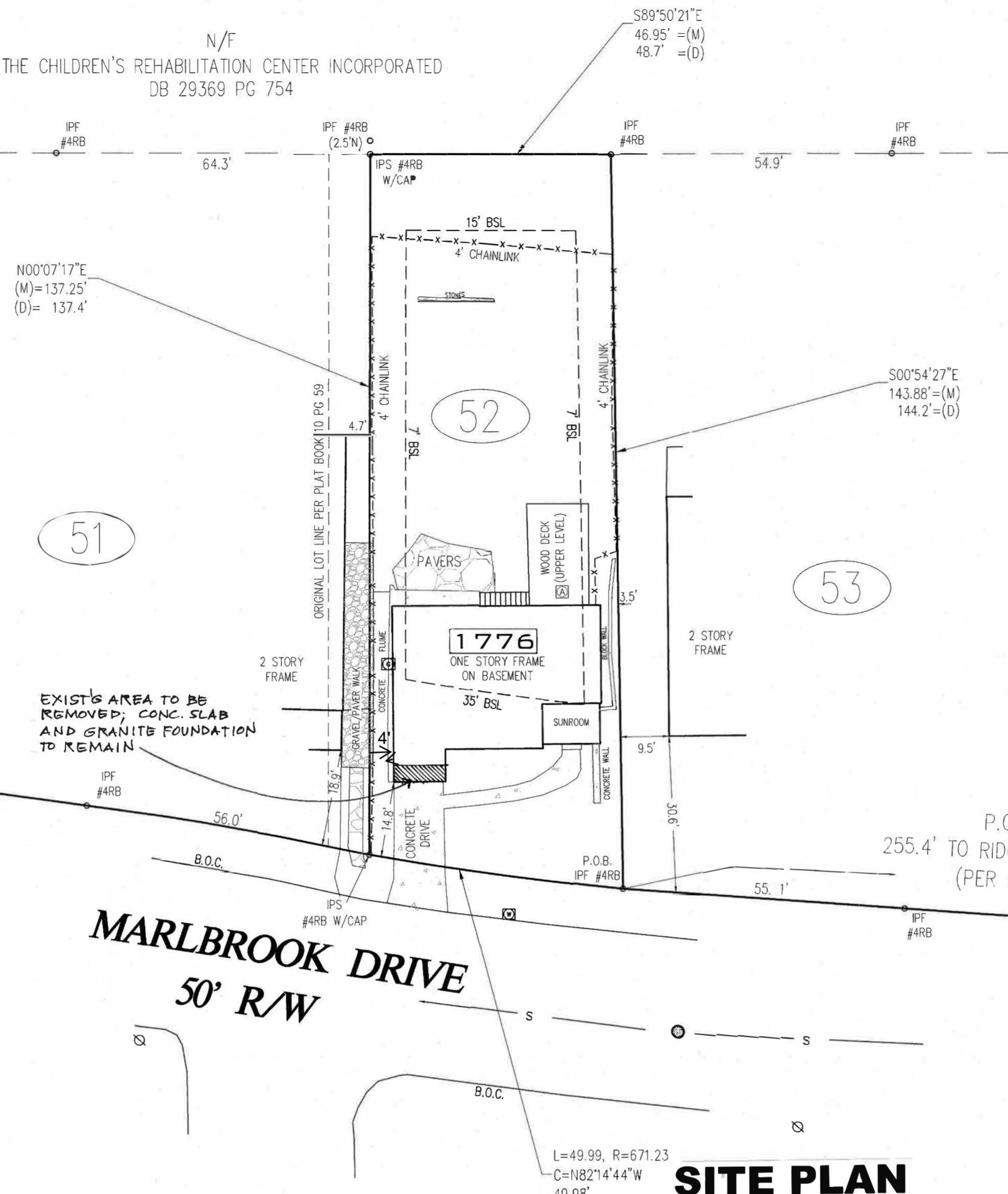
RELEASED FOR CONSTRUCTION



Date	6.24.24
Scale	
Drawn	JSC
Job	
Sheet	
Of	Sheets



N/F
THE CHILDREN'S REHABILITATION CENTER INCORPORATED
DB 29369 PG 754



51

52

53

EXIST'G AREA TO BE REMOVED; CONC. SLAB AND GRANITE FOUNDATION TO REMAIN

P.O.C. 255.4' TO RIDGEWOOD ROAD (PER DEED)

MARLBROOK DRIVE
50' R/W

L=49.99, R=671.23
C=N82°14'44\"/>

SITE PLAN

(M)= MEASURED
(D)=DEED

SITE PLAN IS BASED ON A SURVEY BY DEKALB SURVEYS, INC., DATED 4-5-24 PREPARED FOR JOE WARRAS.

**SITE ADDRESS: 1776 MARLBROOK DRIVE
ATLANTA, GA 30307**

**OWNER(S): JOE WARRAS AND JESSICA LUNA
1776 MARLBROOK DRIVE
ATLANTA, GA 30307**

**24 HOUR CONTACT: JOE WARRAS
770-490-2526**

ZONING NOTES:

CITY OF ATLANTA ZONING: R-4

MINIMUM BUILDING SETBACKS:

FRONT: 35'
SIDE: 7'/17.5'
REAR: 15'

MINIMUM LOT AREA: 9000 S.F.
MAXIMUM FLOOR AREA RATIO: .5
MAXIMUM LOT COVERAGE: 50%
MAXIMUM BUILDING HEIGHT: 35'

TOTAL LOT AREA: 6792 S.F.
PROPOSED FLOOR AREA: 1742 S.F.
PROPOSED F.A.R.: .26

DISTURBED AREA: 29 S.F.
NEW IMPERVIOUS AREA: 0 S.F.
TOTAL IMPERVIOUS: 1987 S.F.
TOTAL LOT AREA: 6792 S.F.
LOT COVERAGE (%): 29.3

NO NEW UTILITY WORK PROPOSED
NO TREES TO BE IMPACTED
NO GRADING PROPOSED

LEGEND

- B.O.C. EOP EDGE OF PAVEMENT
- BSL BUILDING SETBACK LINE (PRIMARY)
- FFE FINISHED FLOOR ELEVATION
- LLL LAND LOT LINE
- PP POWER POLE
- GW GUIDE WIRE
- R/W RIGHT OF WAY
- C.P. CALCULATED POINT
- IPF IRON PIN FOUND
- IPS 1/2" REBAR SET
- SW SIDE WALK
- BOLLARD
- OHP OVERHEAD POWER
- UP UNDERGROUND POWER
- GAS- GAS UNDERGROUND GAS
- W- UNDERGROUND WATER
- UT- UNDERGROUND TELEPHONE
- S- UNDERGROUND SEWER
- FH FIRE HYDRANT
- FDC FIRE DEPT. CONNECTION
- CB CATCH BASIN
- DWCB DOUBLE WING CATCH BASIN
- SWCB SINGLE WING CATCH BASIN
- MH MANHOLE
- JB JUNCTION BOX
- WM WATER METER
- WV WATER VALVE
- GV GAS VALVE
- GM GAS METER
- CO CLEANOUT
- EM ELECTRIC METER
- AC AIR CONDITIONING UNIT
- TELEPHONE BOX
- ICB IRRIGATION CONTROL BOX
- ICV IRRIGATION CONTROL VALVE
- LP LIGHT POLE
- CONCRETE



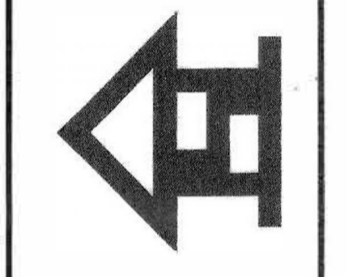
FOR
DEKALB SURVEYS, INC.
407 WEST PONCE DE LEON AVENUE
SUITE B
DECATUR, GEORGIA 30030
404.373.9003

1776 MARLBROOK DRIVE
ZONING: R-4
HOUSE = 1,105 S.F.
DRIVE & WALK = 238 S.F.
SUNROOM = 87 S.F.
WALLS = 36 S.F.
REAR DECK & STEPS = 259 S.F.
CONCRETE FLUME = 85 S.F.
REAR PAVERS AND STONE = 177 S.F.
IMPERVIOUS TOTAL = 1,987 S.F.
LOT AREA = 6,792 S.F.
LOT COVERAGE (%) = 29.3



REVISIONS	BY

JOHN STEVEN CONWAY
ARCHITECT
404 378 5787
JSCONWAY@AOL.COM
307 GLENN CIRCLE
DECATUR, GA 30030



PROPOSED RENOVATIONS FOR
Joe Warras and Jessica Luna
1776 Marlbrook Drive, Atlanta, GA 30307

RELEASED FOR CONSTRUCTION

Date	6.24.24
Scale	NOTED
Drawn	JSC
Job	
Sheet	
	SITE PLAN
Of	Sheets



AUTHORIZATION BY PROPERTY OWNER

(Required only if the applicant is not the owner of the property subject to the proposed application.)

(Please print clearly. Must be the original document. A copy will not be accepted.)

I, Joe Warras and Jessica Luna (OWNER'S NAME) SWEAR AND AFFIRM THAT I AM THE OWNER OF THE PROPERTY AT 1776 Marlbrook Drive (PROPERTY ADDRESS). AS SHOWN IN THE RECORDS OF DeKalb COUNTY, GEORGIA, WHICH IS THE SUBJECT MATTER OF THE ATTACHED APPLICATION. I AUTHORIZE THE PERSON NAMED BELOW TO FILE THIS APPLICATION AS MY AGENT.

NAME OF APPLICANT:

LAST NAME Gentry FIRST NAME Nina
ADDRESS 992 Eden Ave SE SUITE _____
CITY Atlanta STATE GA ZIP CODE 30316

OWNER'S TELEPHONE NUMBER: 404-430-8786 - Jessica ; 770-490-2526 (Joe)

Jemidelia & JOE WARRAS
SIGNATURE OF OWNER

Jessica Luna & JOE WARRAS
PRINT NAME OF OWNER

PERSONALLY APPEARED BEFORE ME THE ABOVE NAMES, WHO SWEARS THAT THE INFORMATION CONTAINED IN THIS AUTHORIZATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Rochelle Stevens
NOTARY PUBLIC

11/6/2024
DATE



V-24-222



RECEIVED

DATE: 11/15/2024

CONSTRUCTION LEGEND

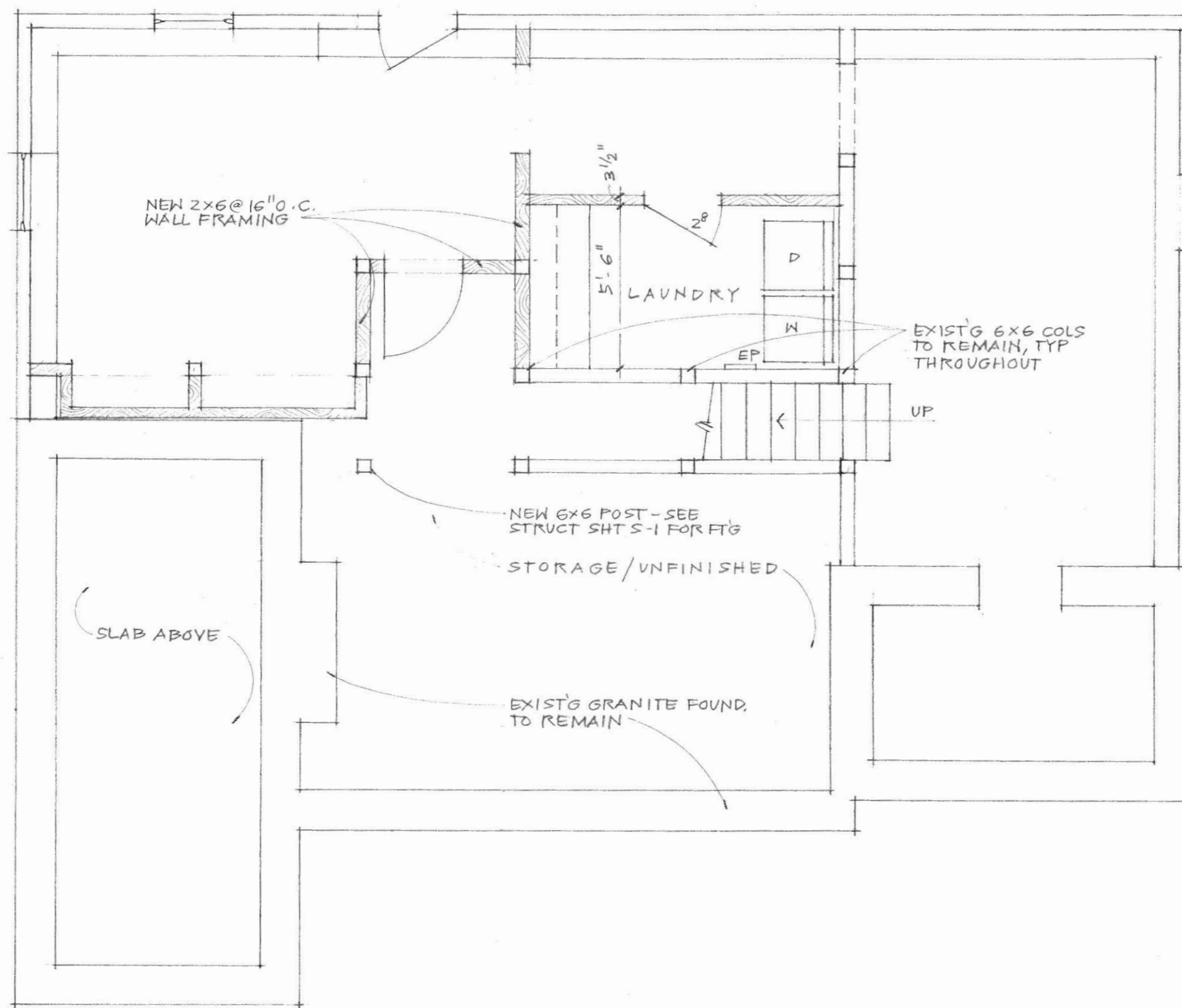
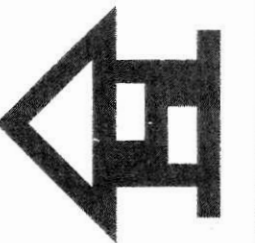
EXISTING WALLS TO REMAIN

EXISTING WALLS TO BE REMOVED

NEW 2X4 WALL FRAMING @ 16"O.C.

REVISIONS	BY

JOHN STEVEN CONWAY
ARCHITECT
404.378.5787
JSCONWAY@AOL.COM
307 GLENN CIRCLE
DECATUR, GA 30030



BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"

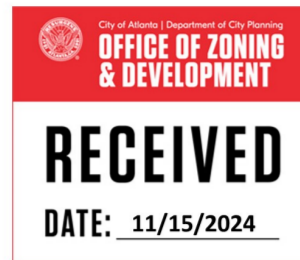
RELEASED FOR CONSTRUCTION

PROPOSED RENOVATIONS FOR
Joe Warras and Jessica Luna
1776 Marlbrook Drive, Atlanta, GA 30307

Date	6-24-24
Scale	NOTED
Drawn	
Job	
Sheet	A-1
Of	Sheets



V-24-222

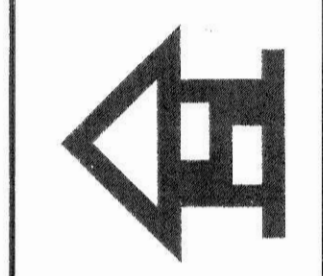


CONSTRUCTION LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- NEW 2X4 WALL FRAMING @ 16"O.C.

REVISIONS	BY

JOHN STEVEN CONWAY
ARCHITECT
404 378 5787
JSCONWAY@AOL.COM
307 GLENN CIRCLE
DECATUR, GA 30030

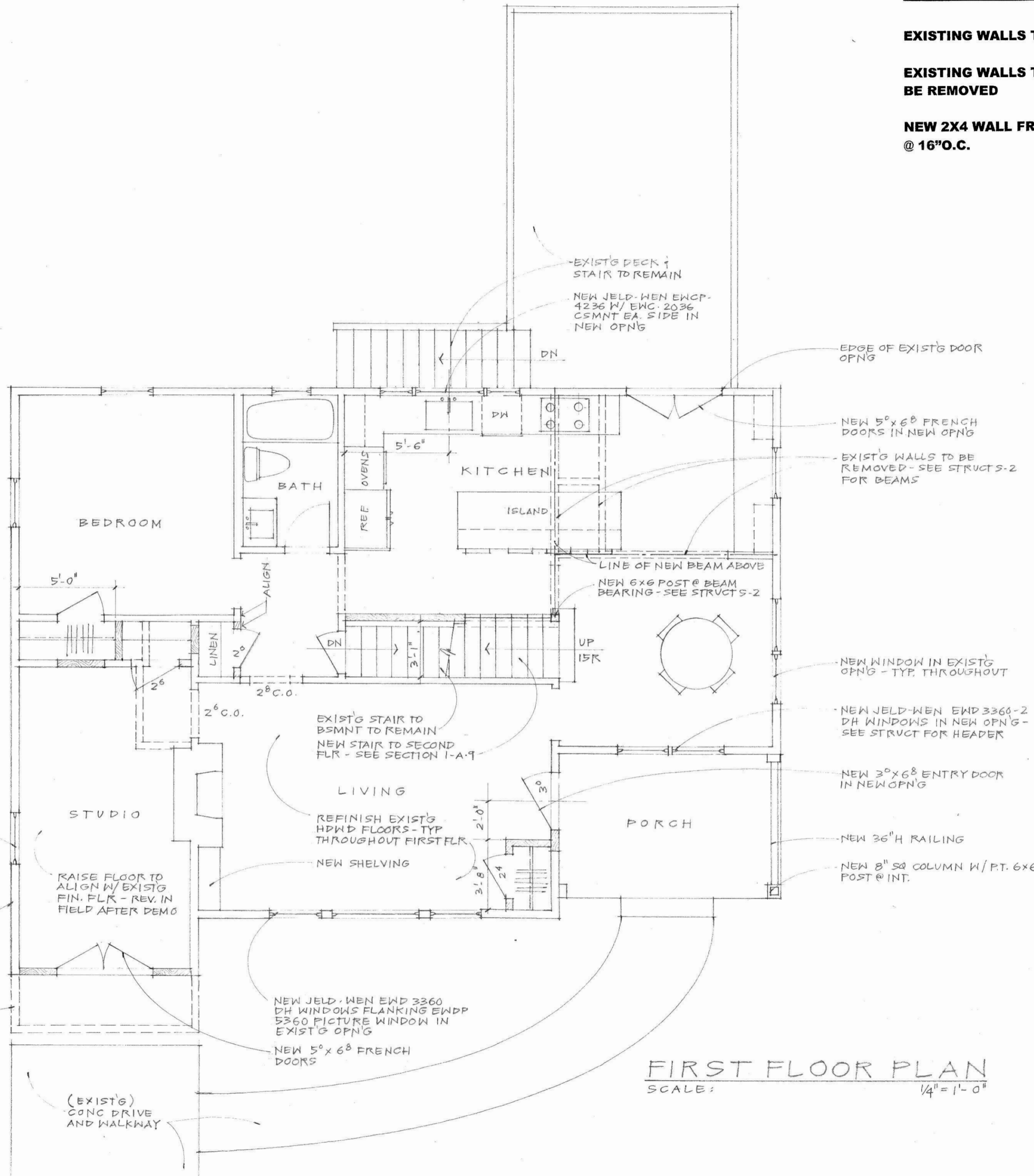


REMOVE EXIST'G DOOR;
INFILL OPNG AS REQ'D

REV. EXIST'G WINDOWS TO
REMAIN W/ OWNERS FOR
POSSIBLE REPLACEMENT

EXTEND WALL FRAMING
AS REQ'D

EXIST'G AREA TO BE
REMOVED



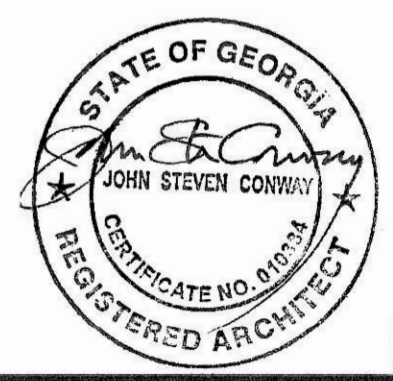
(EXIST'G)
CONC DRIVE
AND WALKWAY

FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION

PROPOSED RENOVATIONS FOR

Joe Warras and Jessica Luna
1776 Marlbrook Drive, Atlanta, GA 30307



Date	6-24-24
Scale	NOTED
Drawn	JSC
Job	
Sheet	A-2
Of	Sheets

V-24-222



CONSTRUCTION LEGEND

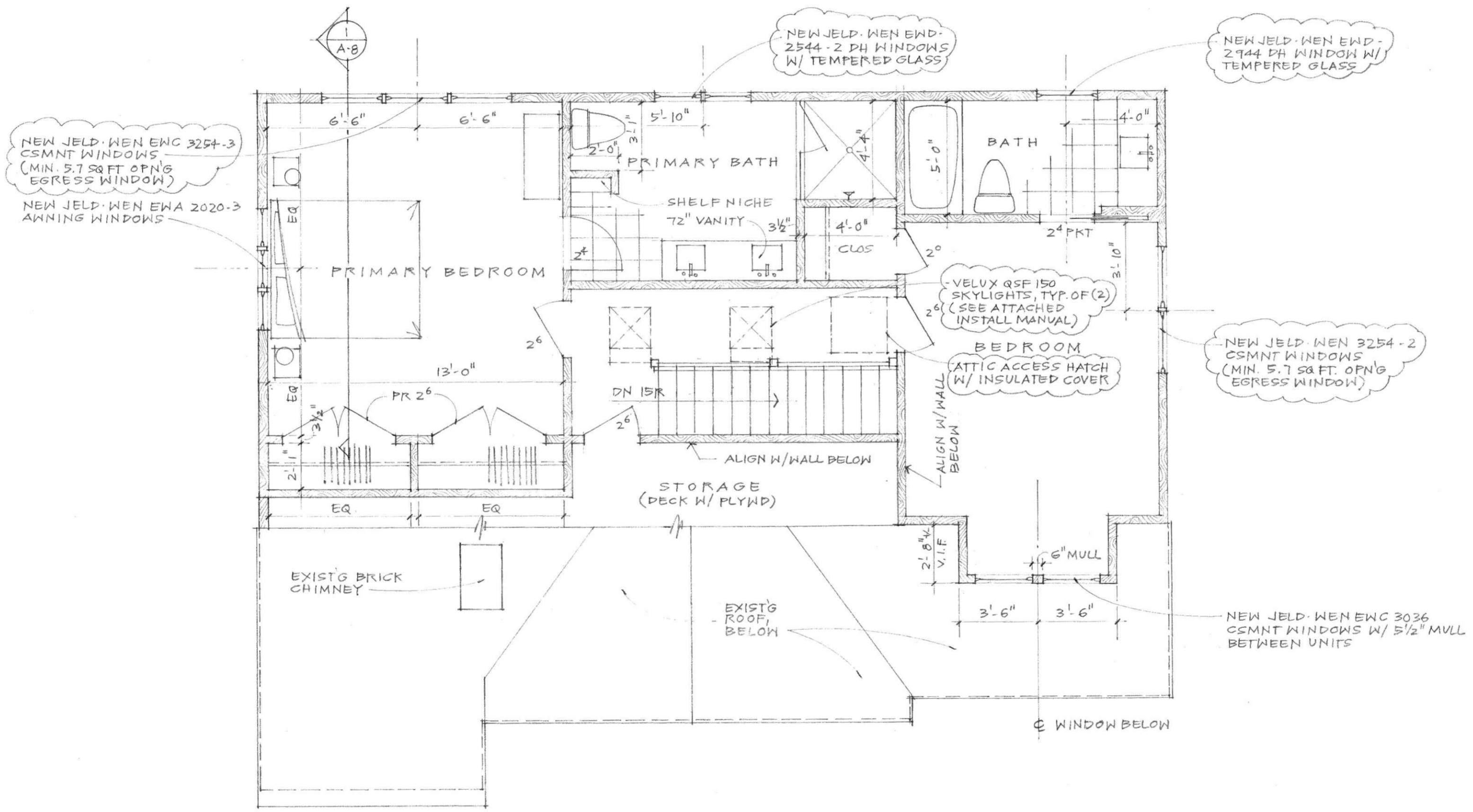
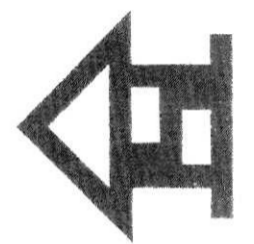
EXISTING WALLS TO REMAIN

EXISTING WALLS TO BE REMOVED

NEW 2X4 WALL FRAMING @ 16"O.C.

REVISIONS	BY
TEMP GLASS / EGRESS WINDOW	JSC
EGRESS WINDOW	JSC
VELUX MANUAL	JSC

JOHN STEVEN CONWAY
ARCHITECT
404 378 5778
JSCONWAY@AOL.COM
307 GLENN CIRCLE
DECATUR, GA 30030



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION

PROPOSED RENOVATIONS FOR

Joe Warras and Jessica Luna
1776 Marlbrook Drive, Atlanta, GA 30307

Date	6-24-24
Scale	NOTED
Drawn	JSC
Job	
Sheet	A-3
Of	Sheets

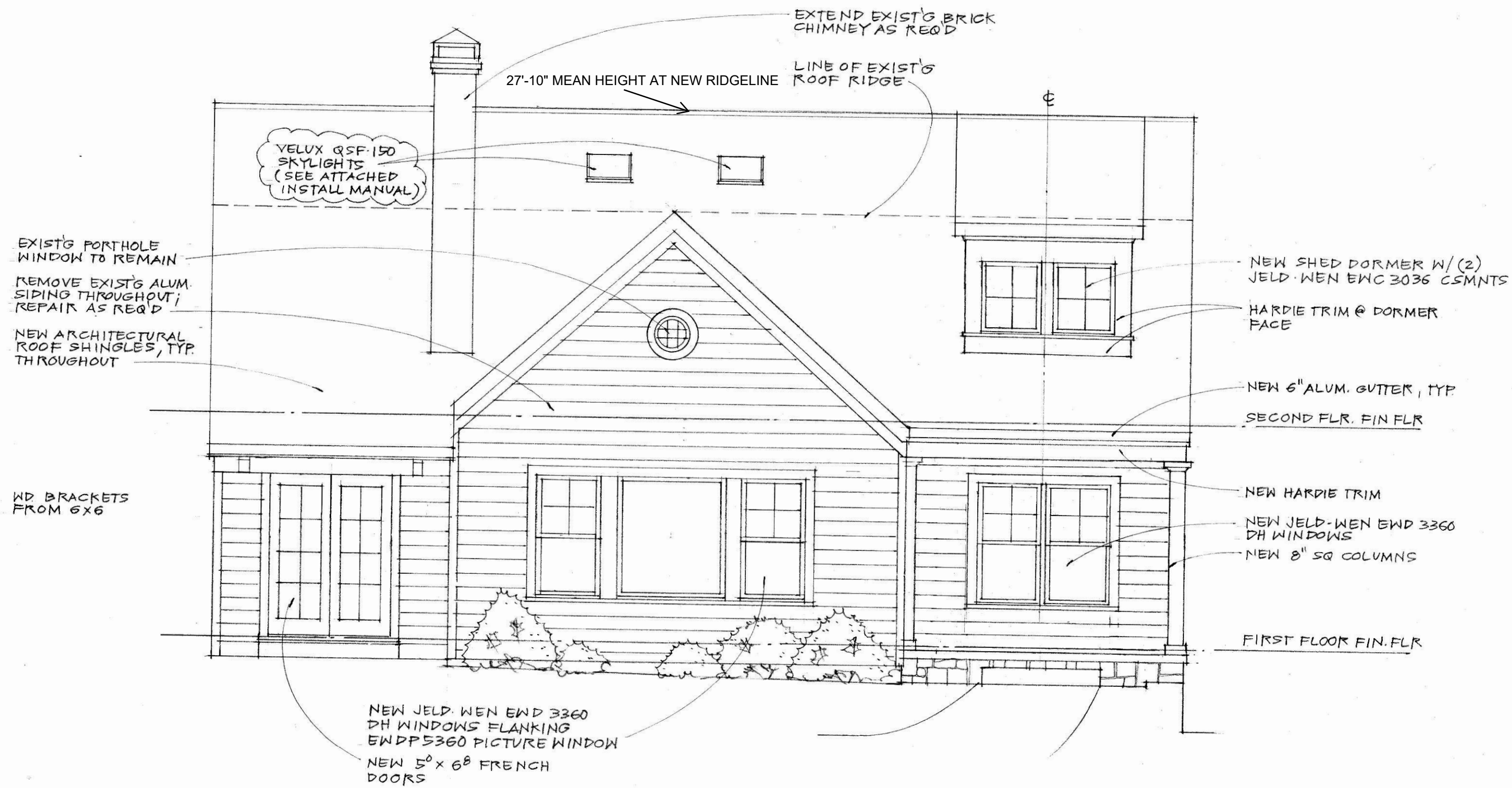


V-24-222



RECEIVED

DATE: 11/15/2024

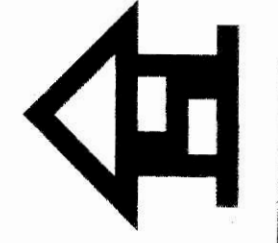


FRONT ELEVATION
SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION

REVISIONS	BY
VELUX INSTALL MANUAL	JSC

JOHN STEVEN CONWAY
ARCHITECT
404.378.5778
JSCONWAY@AOL.COM
307 GLENN CIRCLE
DECATUR, GA. 30030



PROPOSED RENOVATIONS FOR
Joe Warras and Jessica Luna
1776 Marlbrook Drive, Atlanta, GA 30307

Date	6-24-24
Scale	NOTED
Drawn	JSC
Job	
Sheet	A-4
Of	Sheets



V-24-222

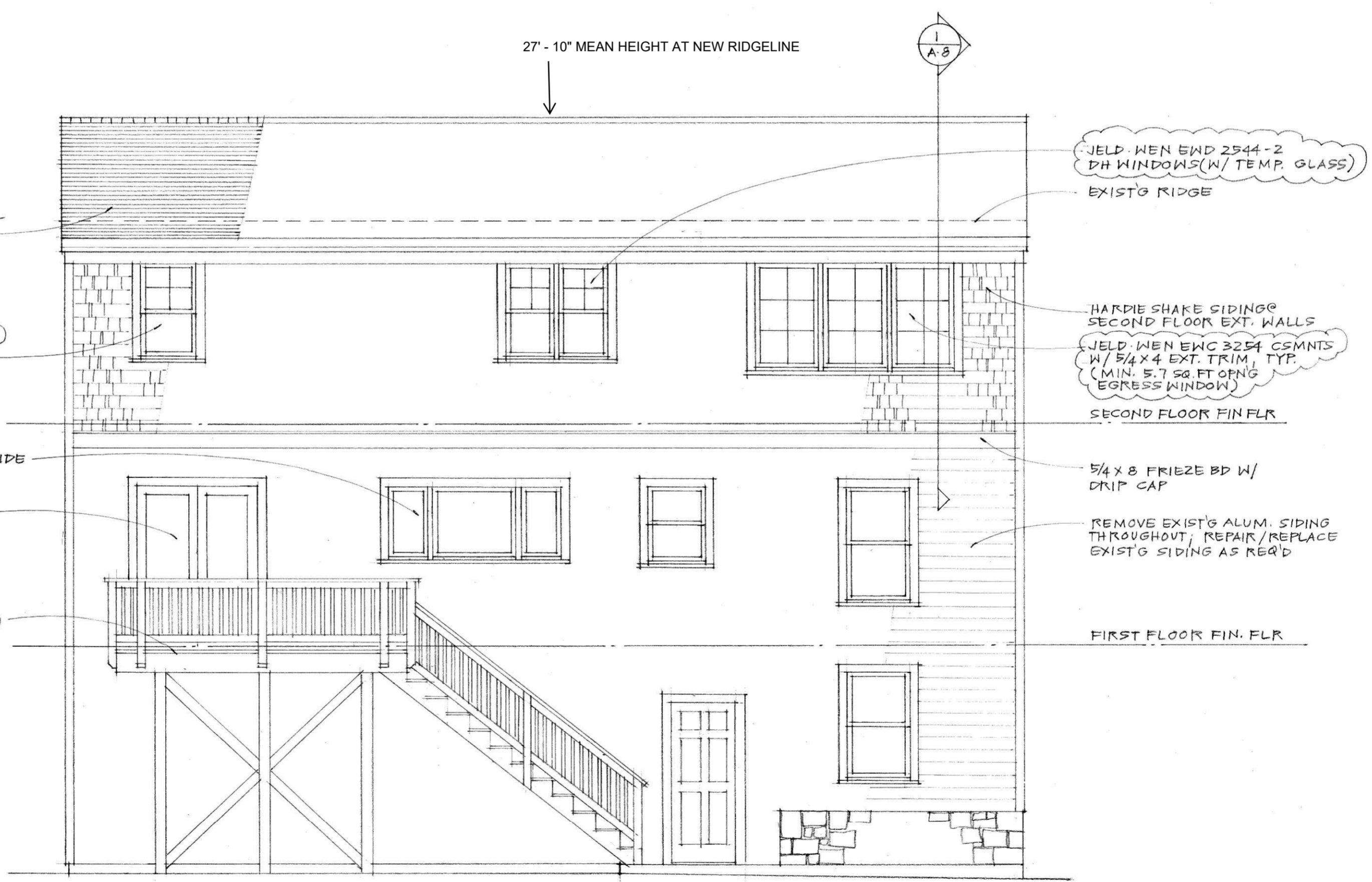
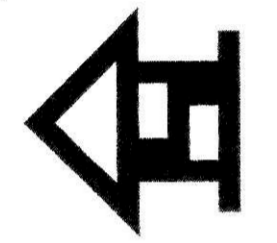


RECEIVED

DATE: 11/15/2024

REVISIONS	BY
TEMP GLASS/ EGRESS WINDOW	JSC

JOHN STEVEN CONWAY
ARCHITECT
404 378 5778
JSCONWAY@AOL.COM
307 GLENN CIRCLE
DECATUR, GA 30030



REAR ELEVATION
SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION



PROPOSED RENOVATIONS FOR
Joe Warras and Jessica Luna
1776 Marlbrook Drive, Atlanta, GA 30307

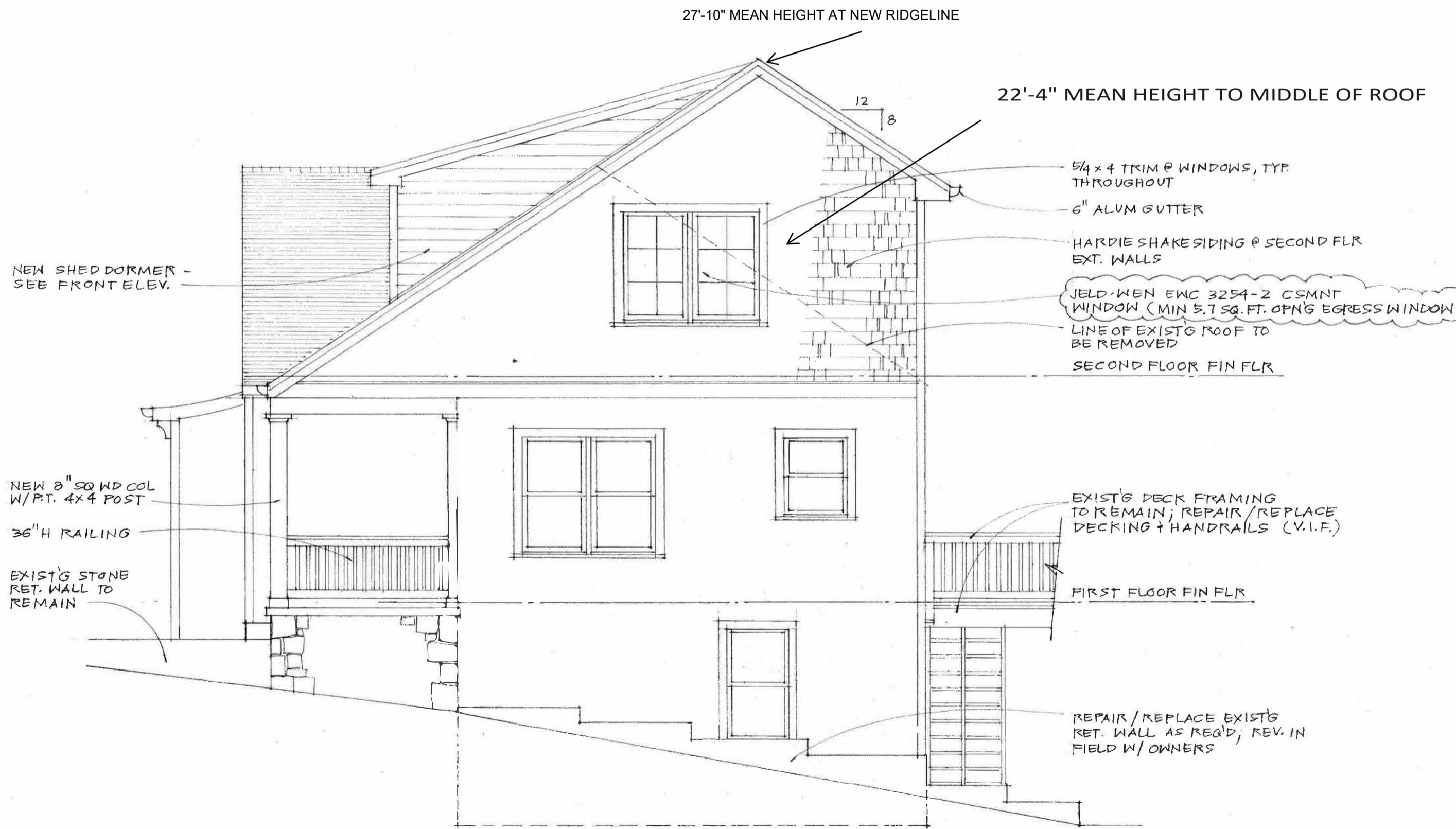
Date	6-24-24
Scale	NOTED
Drawn	JSC
Job	
Sheet	A-5
Of	Sheets

V-24-222



RECEIVED

DATE: 11/15/2024



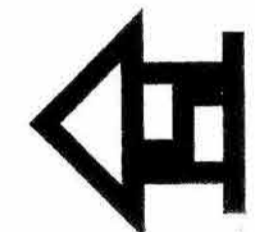
RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION



REVISIONS	BY
EGRESS WINDOW	JSC

JOHN STEVEN CONWAY
ARCHITECT
404.378.5778
JSCONWAY@AOL.COM
307 GLENN CIRCLE
DECATUR, GA 30030



PROPOSED RENOVATIONS FOR

Joe Warras and Jessica Luna

1776 Marlbrook Drive, Atlanta, GA 30307

Date 6-24-24

Scale NOTED

Drawn JSC

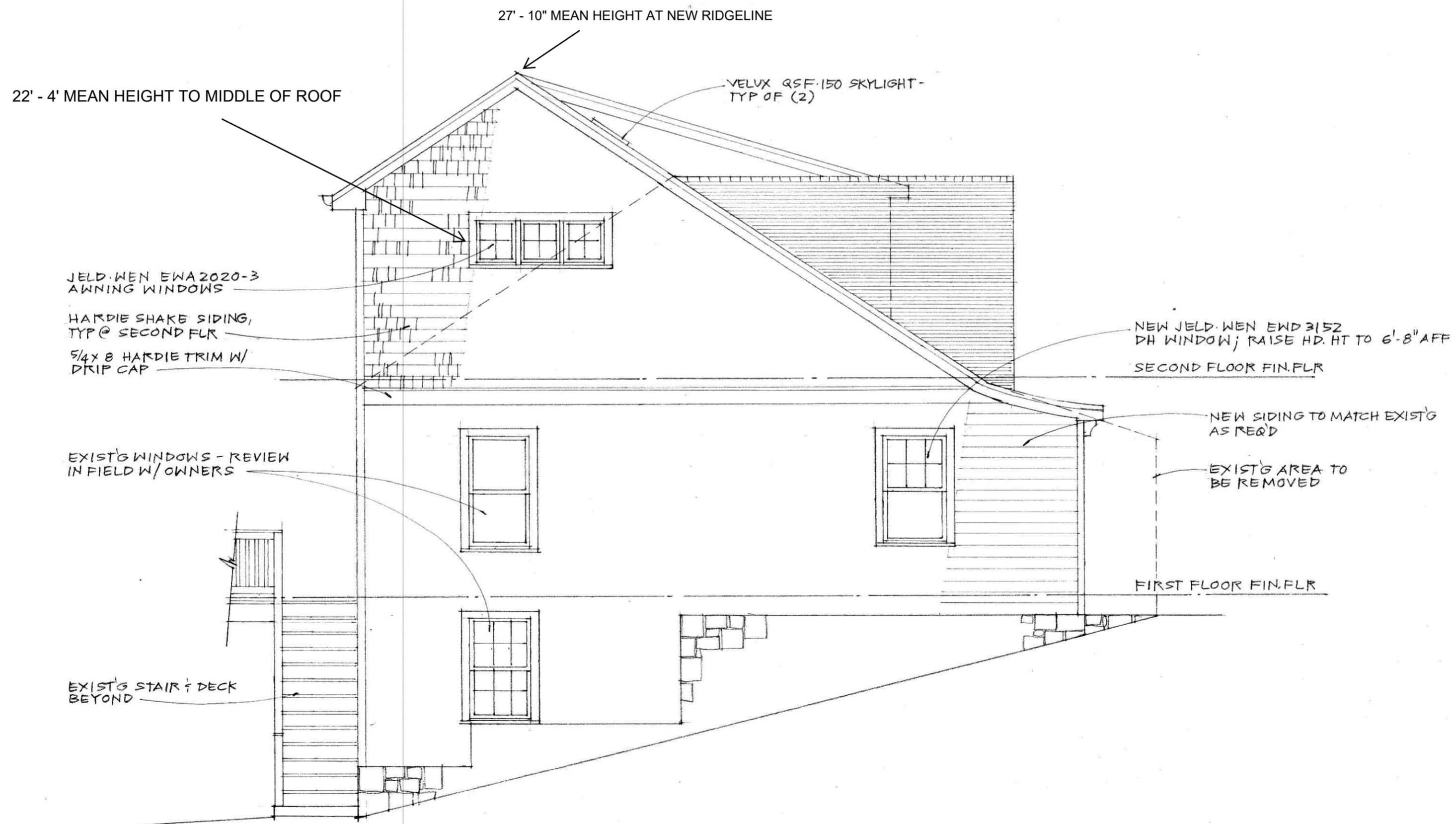
Job

Sheet

A-6

Of Sheets

V-24-222
 City of Atlanta | Department of City Planning
OFFICE OF ZONING & DEVELOPMENT
RECEIVED
 DATE: 11/15/2024



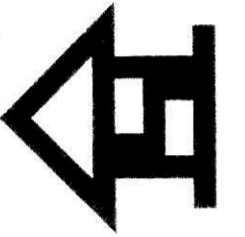
LEFT SIDE ELEVATION
 SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION



REVISIONS	BY

JOHN STEVEN CONWAY
 ARCHITECT
 404 378 5778
 JSCONWAY@AOL.COM
 307 GLENN CIRCLE
 DECATUR, GA 30030

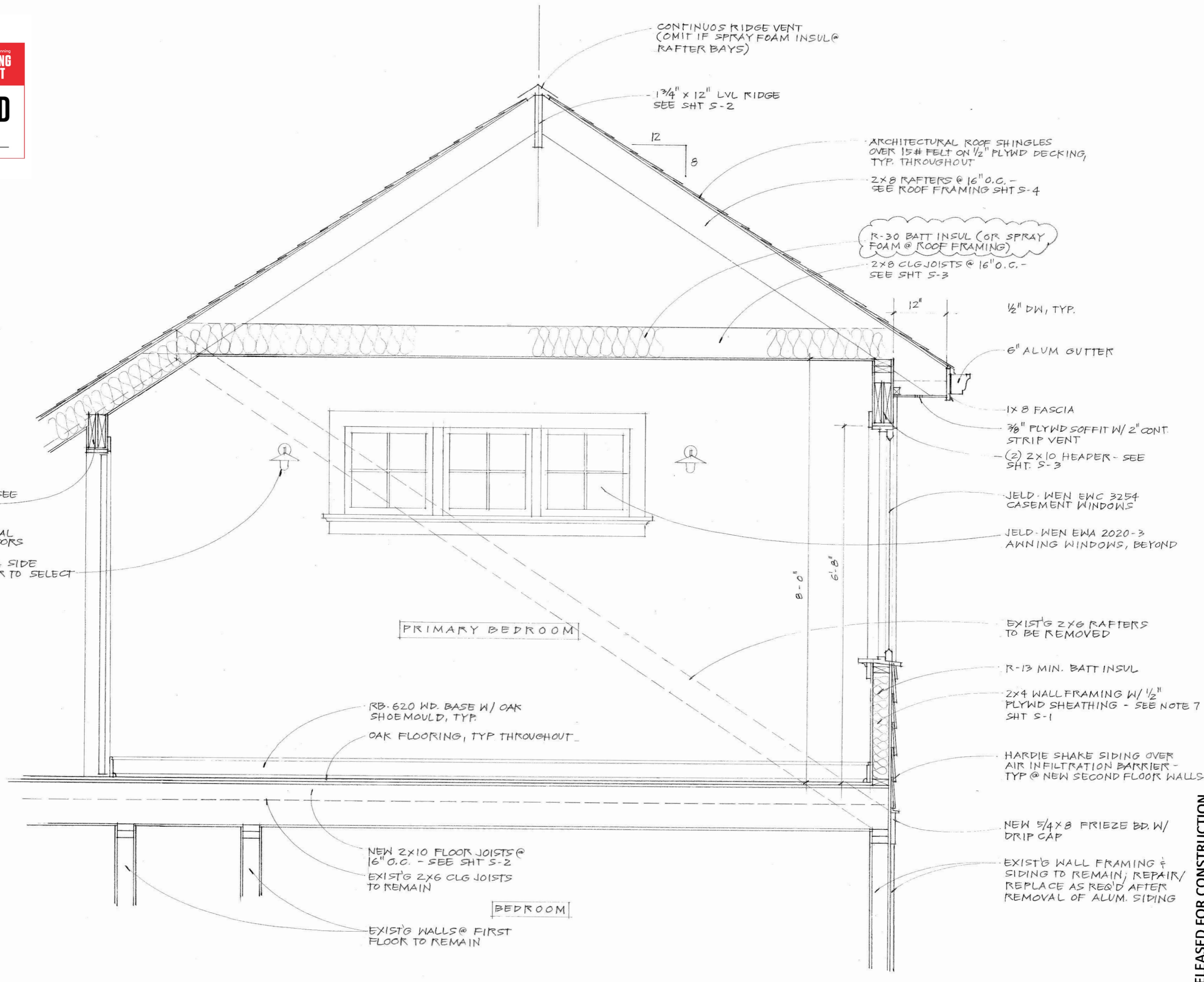


PROPOSED RENOVATIONS FOR

Joe Warras and Jessica Luna
 1776 Marlbrook Drive, Atlanta, GA 30307

Date	6.24.24
Scale	NOTED
Drawn	JSC
Job	
Sheet	A-7
Of	Sheets

V-24-222



(2) 2 X 8 HEADER - SEE STRUCT. SHT S-3
FIELD - VERIFY ACTUAL HEIGHT @ CLOSET DOORS
SCONCE FIXT. @ EA SIDE OF WINDOW - OWNER TO SELECT

CONTINUOUS RIDGE VENT (OMIT IF SPRAY FOAM INSUL @ RAFTER BAYS)
1 3/4" X 12" LVL RIDGE SEE SHT S-2
ARCHITECTURAL ROOF SHINGLES OVER 15# FELT ON 1/2" PLYWD DECKING, TYP. THROUGHOUT
2 X 8 RAFTERS @ 16" O.C. - SEE ROOF FRAMING SHT S-4
R-30 BATT INSUL (OR SPRAY FOAM @ ROOF FRAMING)
2 X 8 CLG JOISTS @ 16" O.C. - SEE SHT S-3

1/2" DW, TYP.
6" ALUM GUTTER
1 X 8 FASCIA
3/8" PLYWD SOFFIT W/ 2" CONT. STRIP VENT
(2) 2 X 10 HEADER - SEE SHT. S-3
JELD-WEN EWC 3254 CASEMENT WINDOWS
JELD-WEN EWA 2020-3 AWNING WINDOWS, BEYOND

PRIMARY BEDROOM

RB-620 WD. BASE W/ OAK SHOE MOULD, TYP.
OAK FLOORING, TYP. THROUGHOUT

EXIST'G 2 X 6 RAFTERS TO BE REMOVED
R-13 MIN. BATT INSUL
2 X 4 WALL FRAMING W/ 1/2" PLYWD SHEATHING - SEE NOTE 7 SHT S-1
HARDIE SHAKE SIDING OVER AIR INFILTRATION BARRIER - TYP @ NEW SECOND FLOOR WALLS
NEW 5/4 X 8 FRIEZE BD. W/ DRIP CAP
EXIST'G WALL FRAMING & SIDING TO REMAIN; REPAIR/ REPLACE AS REQ'D AFTER REMOVAL OF ALUM. SIDING

NEW 2 X 10 FLOOR JOISTS @ 16" O.C. - SEE SHT S-2
EXIST'G 2 X 6 CLG JOISTS TO REMAIN
EXIST'G WALLS @ FIRST FLOOR TO REMAIN

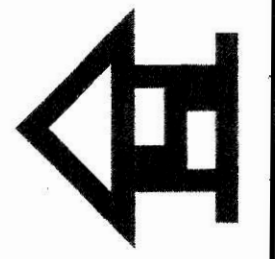
BEDROOM

SECTION @ PRIMARY BEDROOM
SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION

REVISIONS	BY
INSVL. VALVE	JSC

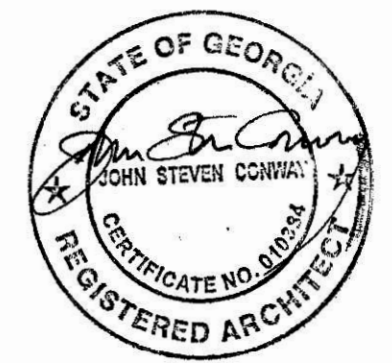
JOHN STEVEN CONWAY ARCHITECT
404 378 5787
JSCONWAY@AOL.COM
307 GLENN CIRCLE
DECATUR, GA 30030



PROPOSED RENOVATIONS FOR

Joe Warras and Jessica Luna
1776 Marlbrook Drive, Atlanta, GA 30307

Date	6.24.24
Scale	NOTED
Drawn	JSC
Job	
Sheet	A-8
Of	Sheets

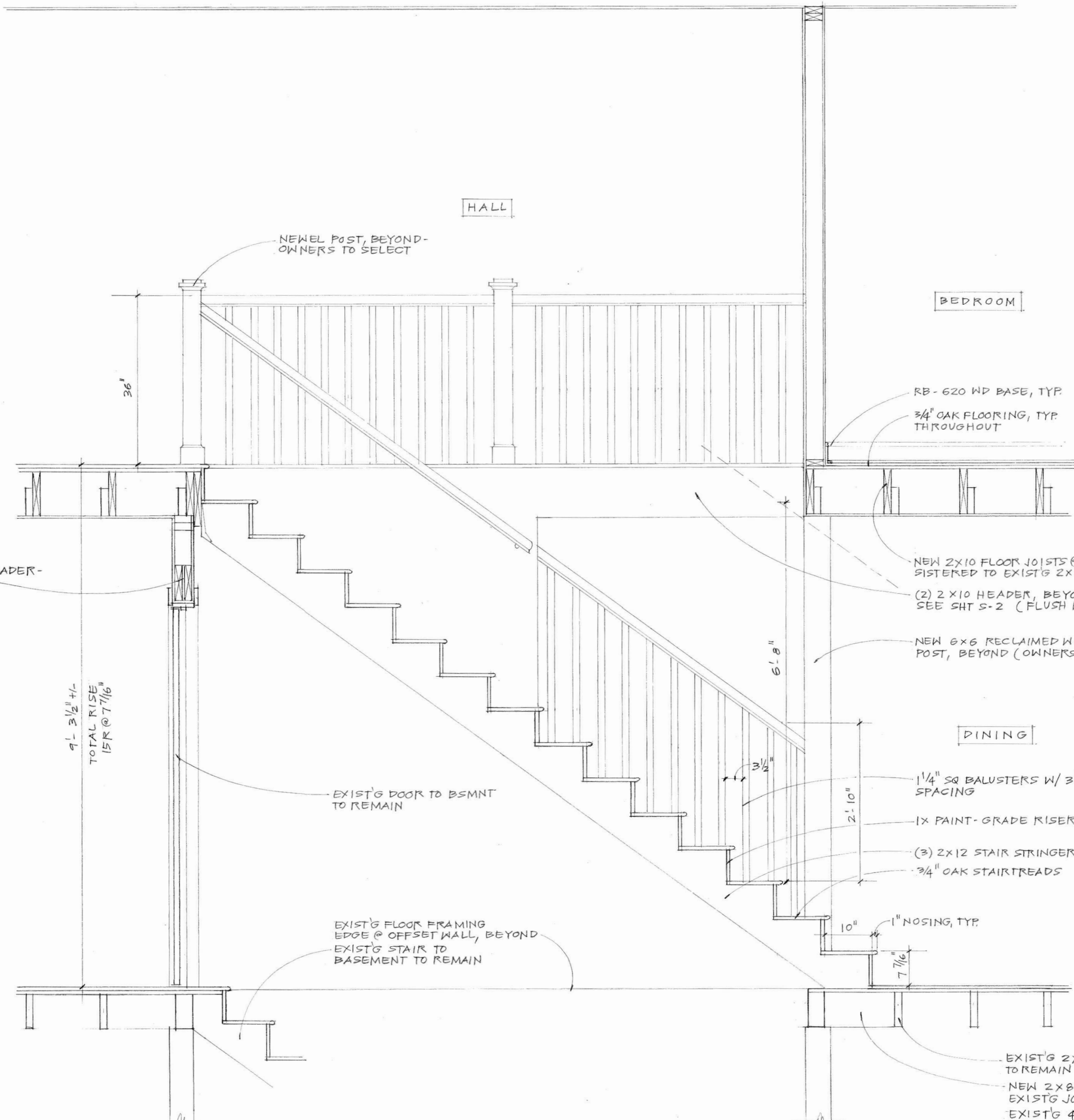


V-24-222



RECEIVED

DATE: 11/15/2024



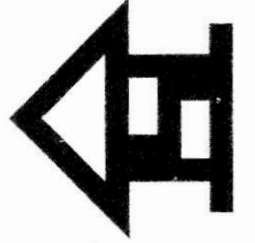
SECTION @ STAIR
SCALE: 3/4" = 1'-0"



RELEASED FOR CONSTRUCTION

REVISIONS	BY

JOHN STEVEN CONWAY
ARCHITECT
404 378 5787
JSCONWAY@AOL.COM
307 GLENN CIRCLE
DECATUR, GA 30030



PROPOSED RENOVATIONS FOR

Joe Warras and Jessica Luna
1776 Marlbrook Drive, Atlanta, GA 30307

Date	6-24-24
Scale	NOTED
Drawn	JSC
Job	
Sheet	A-9
Of	Sheets

ELECTRICAL NOTES

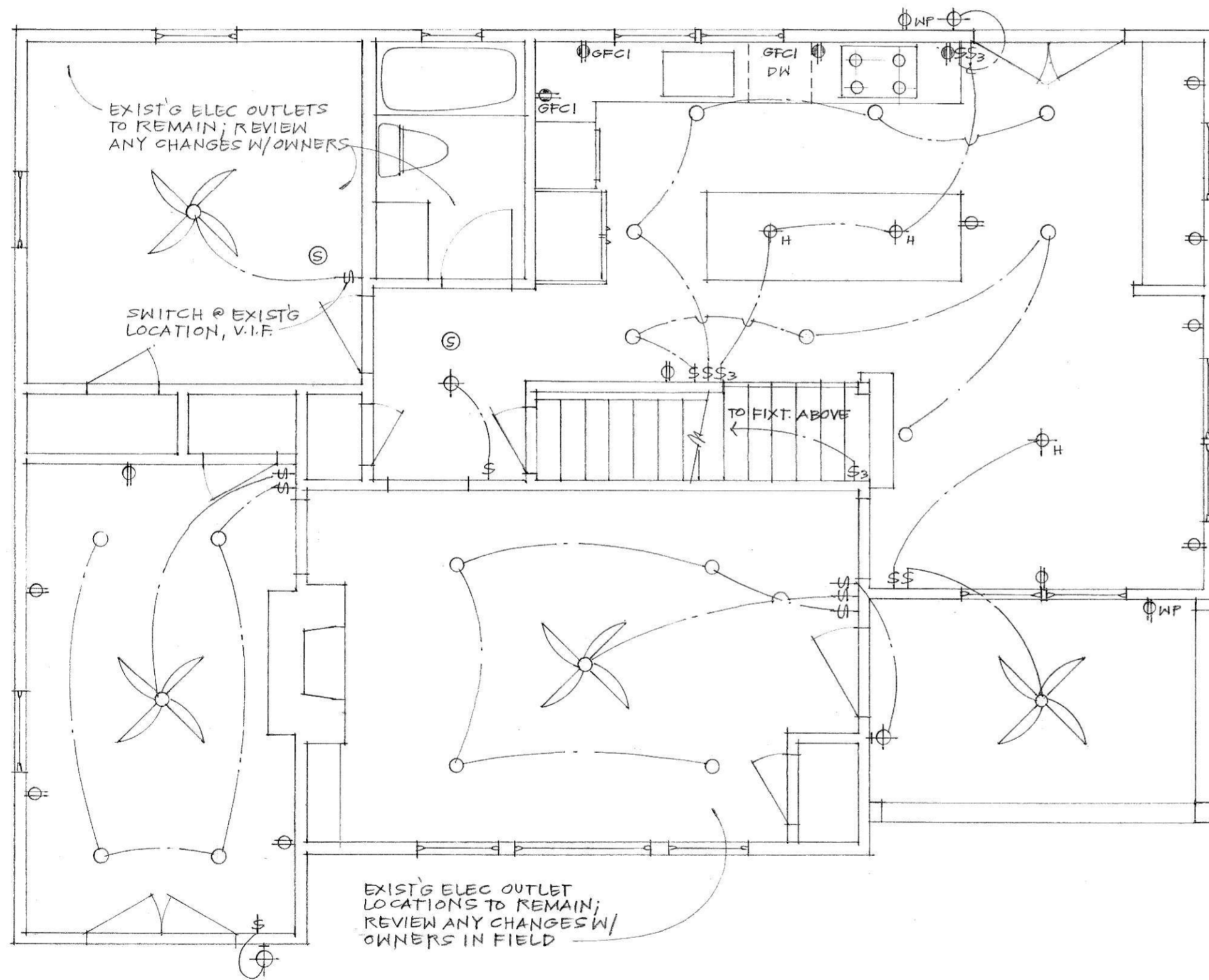
1. All new electrical devices are to be white standard type.
2. All outlets are standard 15A duplex receptacles unless noted otherwise. Provide GFCI protection as indicated or where additionally required.
3. Contractor to schedule a walk-through with owners prior to sheetrock installation to ensure all devices and fixtures are in correct location. Relocate any device or fixture as required prior to sheetrock installation.
4. All recessed lighting and hanging light fixtures to be controlled by matching dimmer switches rated for specific application.
5. Provide electrical service for all HVAC equipment, water heaters, and other equipment not shown on plans.
6. Electrical devices not shown on plan are to remain unless noted otherwise.

V-24-222



ELECTRICAL LEGEND

- RECESSED DOWNLIGHT
- RECESSED DIRECTIONAL DOWNLIGHT
- ⊕ SURFACE MOUNTED LIGHT FIXTURE
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED FLOURESCENT LIGHT
- ⊠ EXHAUST FAN
- ⊗ CEILING FAN
- ⊕ HANGING LIGHT FIXTURE
- ⊕ WALL SWITCH
- ⊕ THREE-WAY WALL SWITCH
- ⊕ DUPLEX ELEC. WALL OUTLET
- RECESSED FLOOR MOUNTED OUTLET
- ⊕ TELEPHONE OUTLET
- ⊕ CABLE TV OUTLET
- ⊕ WATERPROOF EXT. ELEC. OUTLET
- Ⓢ SMOKE / CO DETECTOR - HARDWIRED W/ BATTERY BACK UP

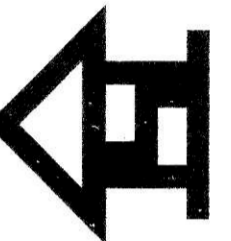


FIRST FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION

REVISIONS	BY
REVISE LEGEND FOR SMOKE/CO	JSC

JOHN STEVEN CONWAY
ARCHITECT
404 378 5787
JSCONWAY@AOL.COM
307 GLENN CIRCLE
DECATUR, GA 30030



PROPOSED RENOVATIONS FOR
Joe Warras and Jessica Luna
1776 Marlbrook Drive, Atlanta, GA 30307

Date	6-24-24
Scale	NOTED
Drawn	JSC
Job	
Sheet	E-1
Of	Sheets

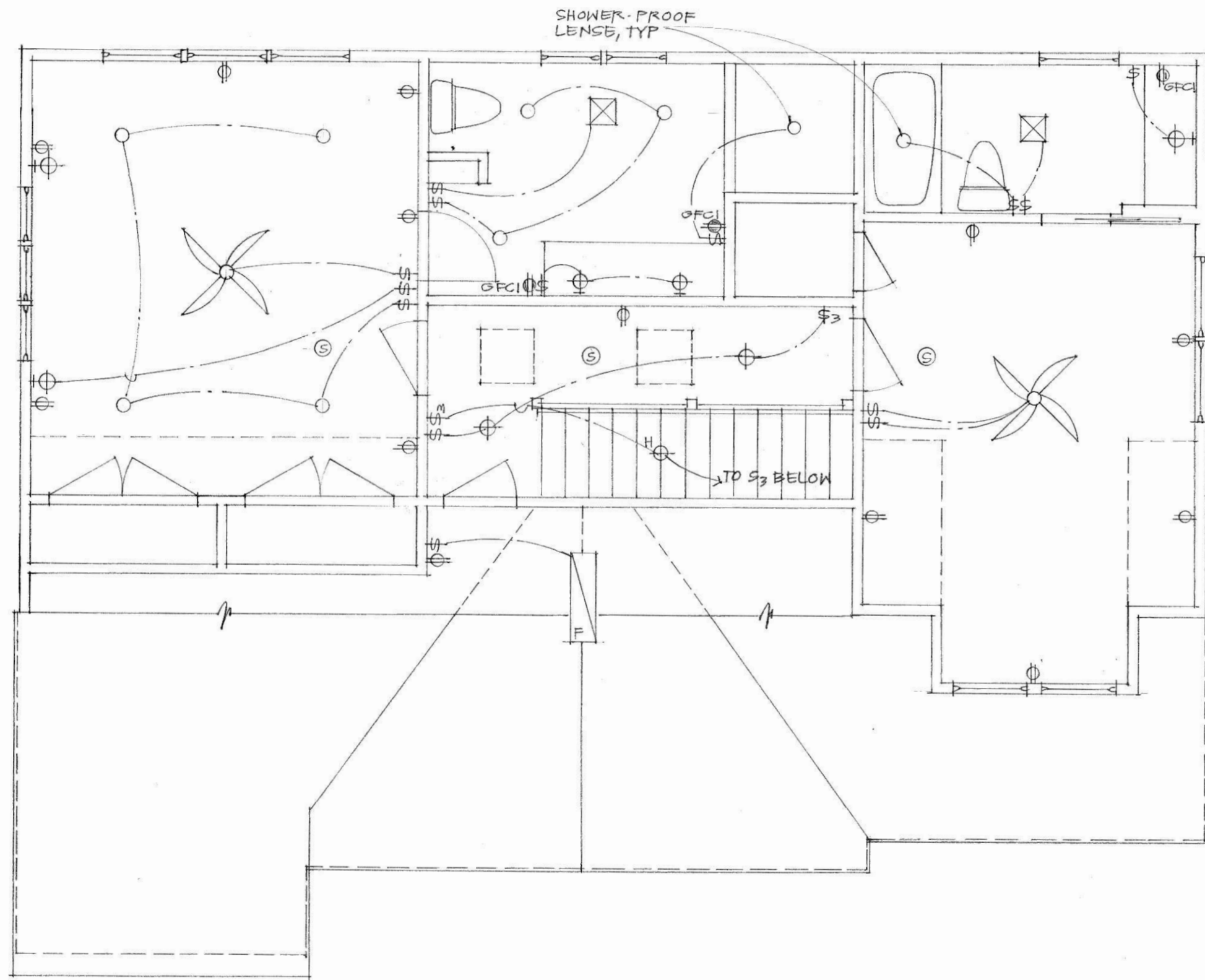


V-24-222

City of Atlanta Department of City Planning
OFFICE OF ZONING & DEVELOPMENT

RECEIVED

DATE: 11/15/2024



ELECTRICAL LEGEND

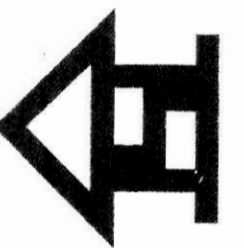
- RECESSED DOWNLIGHT
- RECESSED DIRECTIONAL DOWNLIGHT
- ⊕ SURFACE MOUNTED LIGHT FIXTURE
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED FLOURESCENT LIGHT
- ⊠ EXHAUST FAN
- ⊗ CEILING FAN
- ⊕ HANGING LIGHT FIXTURE
- ⊕ WALL SWITCH
- ⊕ THREE-WAY WALL SWITCH
- ⊕ DUPLEX ELEC. WALL OUTLET
- ⊕ RECESSED FLOOR MOUNTED OUTLET
- ⊕ TELEPHONE OUTLET
- ⊕ CABLE TV OUTLET
- ⊕ WATERPROOF EXT. ELEC. OUTLET
- ⊕ SMOKE / CO DETECTOR - HARDWIRED W/ BATTERY BACK UP

SECOND FLOOR ELECTRICAL PLAN
SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION

REVISIONS	BY
REV. LEGEND FOR SMOKE / CO	JSC

JOHN STEVEN CONWAY
ARCHITECT
404.378.5787
JSCONWAY@AOL.COM
307 GLENN CIRCLE
DECATUR, GA 30030



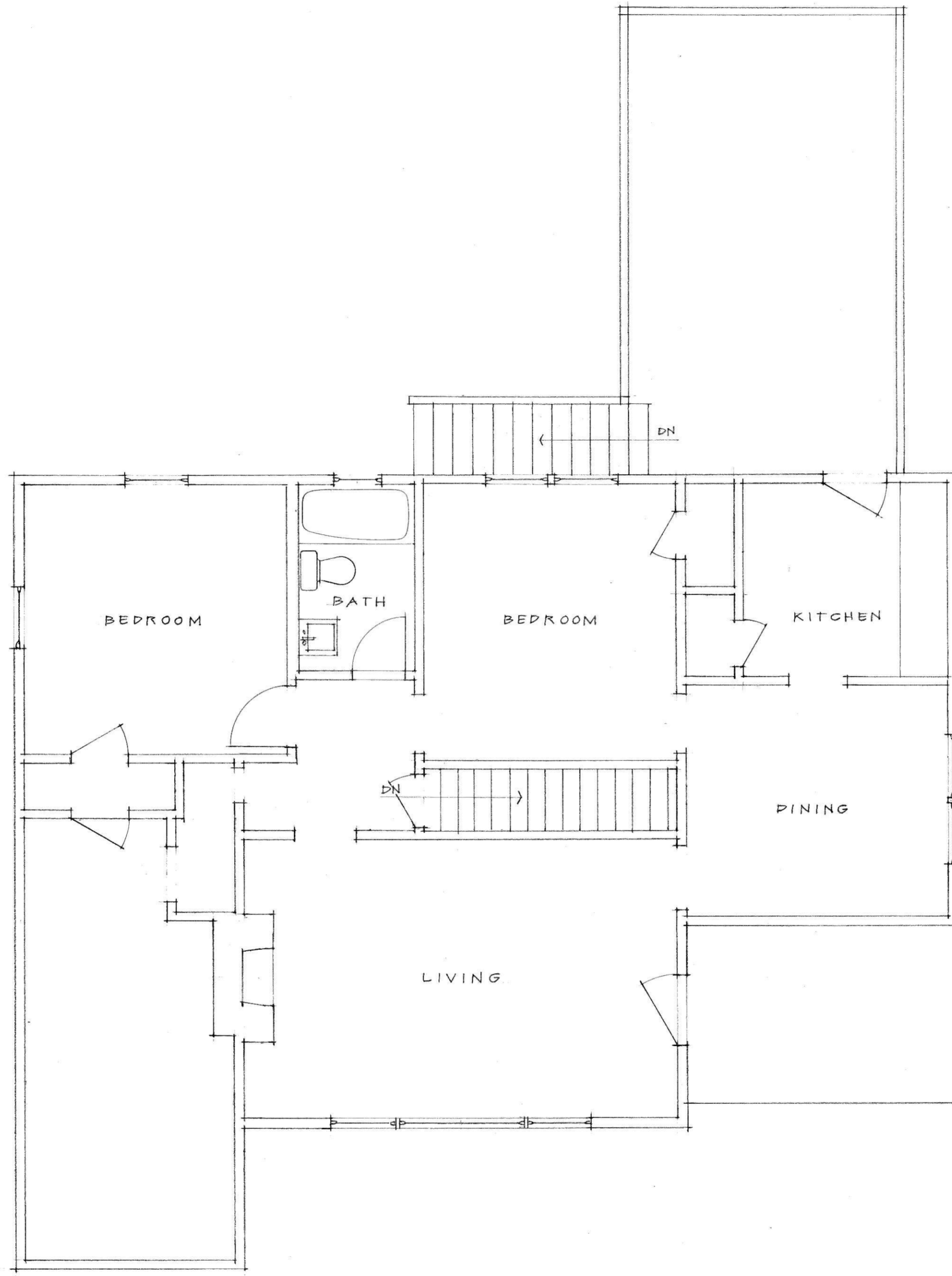
PROPOSED RENOVATIONS FOR

Joe Warras and Jessica Luna
1776 Marlbrook Drive, Atlanta, GA 30307

Date	6-24-24
Scale	NOTED
Drawn	JSC
Job	
Sheet	E-2
Of	Sheets



V-24-222



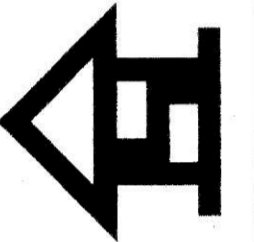
EXIST'G FLOOR PLAN
SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION



REVISIONS	BY

JOHN STEVEN CONWAY
ARCHITECT
404.378.5787
JSCONWAY@AOL.COM
307 GLENN CIRCLE
DECATUR, GA 30030



PROPOSED RENOVATIONS FOR

Joe Warras and Jessica Luna
1776 Marlbrook Drive, Atlanta, GA 30307

Date	6-24-24
Scale	NOTED
Drawn	JSC
Job	
Sheet	EX-1
Of	Sheets

V-24-222

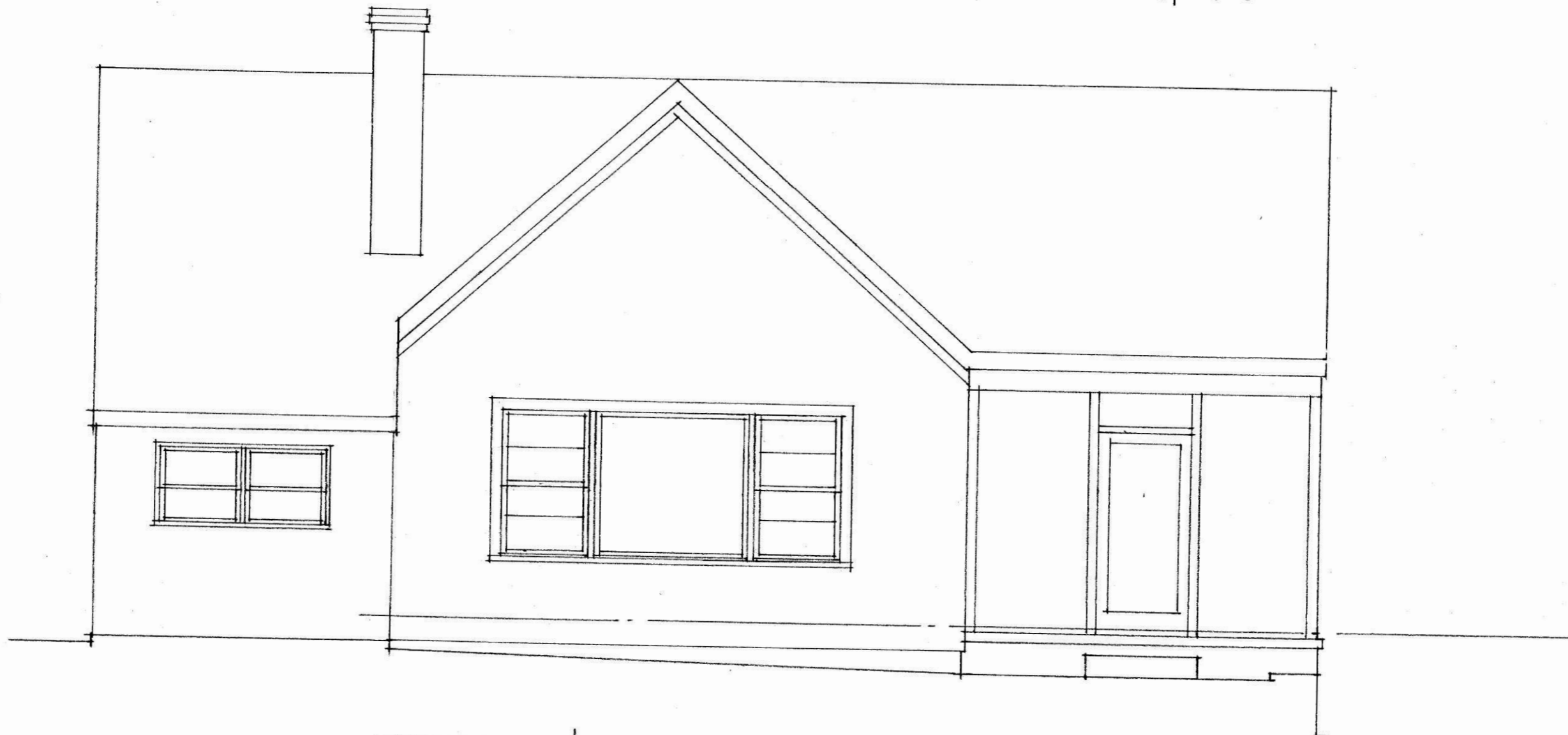


RECEIVED

DATE: 11/15/2024



EXIST'G REAR ELEVATION
SCALE: 1/4" = 1'-0"

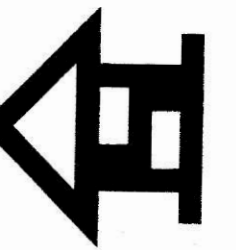


EXIST'G FRONTELEVATION
SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION

REVISIONS	BY

JOHN STEVEN CONWAY
ARCHITECT
404.378.5787
JSCONWAY@AOL.COM
307 GLENN CIRCLE
DECATUR, GA 30030



PROPOSED RENOVATIONS FOR
Joe Warras and Jessica Luna
1776 Marlbrook Drive, Atlanta, GA 30307

Date 6-24-24

Scale NOTED

Drawn JSC

Job

Sheet

EX-2
Of Sheets



V-24-222



RECEIVED

DATE: 11/15/2024



EXIST'G LEFT SIDE ELEVATION
SCALE: 1/4" = 1'-0"



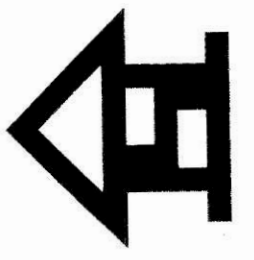
EXIST'G RIGHT SIDE ELEVATION
SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION



REVISIONS	BY

JOHN STEVEN CONWAY
ARCHITECT
404 378 5787
JSCONWAY@AOL.COM
307 GLENN CIRCLE
DECATUR, GA 30030



PROPOSED RENOVATIONS FOR

Joe Warras and Jessica Luna
1776 Marlbrook Drive, Atlanta, GA 30307

Date	6-24-24
Scale	NOTED
Drawn	JSC
Job	
Sheet	EX-3
Of	Sheets

FRAMING / FOUNDATION KEY

RAFTERS:

- RX Existing 2x6 Rafters to Remain
- R1 2x8 @ 16" #2 SPF
- DR Double Rafter

RIDGE BOARDS:

- RBX Existing Ridge Board to Remain
- RB1 (1) LVL 1 3/4" x 12"
Splice new ridge beam only at interior supports

VALLEYS:

- VX Existing Valley to Remain

CEILING JOISTS:

- CJX Existing 2x6 Ceiling Joists to Remain
- CJ0 2x6 @ 16" #2 SPF
- CJ1 2x8 @ 16" #2 SPF
- CJ2 2x8 @ 12" #2 SPF

CEILING BEAMS:

- CB1 (1) 2x8 #2 SPF
- CB2 (2) 2x10 #2 SYP

HEADERS:

- H1 (2) 2x8 #2 SPF with 1 Jack / 1 King each end (indicated 1J / 1K)
- H1A Same as H1 1J / 2K each end
- H2 (2) 2x10 #2 SYP with 1J / 2K each end
- H2A Same as H2 2J / 1K each end
- H2B Same as H2 2J / 2K each end
- H3 (2) LVL 1 3/4" x 9 1/2" 2J / 2K each end

FLOOR JOISTS:

- JX 2x8 @ 16" Existing 1st Floor Joists to Remain
- J1 Add 2x10 @ 16" #2 SYP at 2nd Floor
- DJ Double Joist

FLOOR BEAMS:

- BX 4x10 Existing 1st Floor Beam to Remain
- B1 (2) 2x10 #2 SYP
- B2 (2) LVL 1 3/4" x 9 1/4" Flush Beam
- B3 (2) LVL 1 3/4" x 9 1/2" Flush or Dropped Beam - see Architectural
- B4 (2) LVL 1 3/4" x 12"

POSTS:

- P1 6x6 #2 SYP (PT at Basement / Crawl and Exterior Posts)
One (1) Simpson H2.5 or H2.5T framing clip to beams at top (and bottom at main floor)
Simpson ABU66 post base to foundation

FOOTINGS:

- F1 Spread Footing for new Basement Post
24"x 24"x 10" thick with 3 #4 each way bottom reinforcing bars
- F2 Grade Beam Footing at New Edge of Slab
20"W x 12" min. below grade
Reinforce with 2 #4 continuous top and bottom bars
See also Note 8 for dowels to existing

STRUCTURAL NOTES:

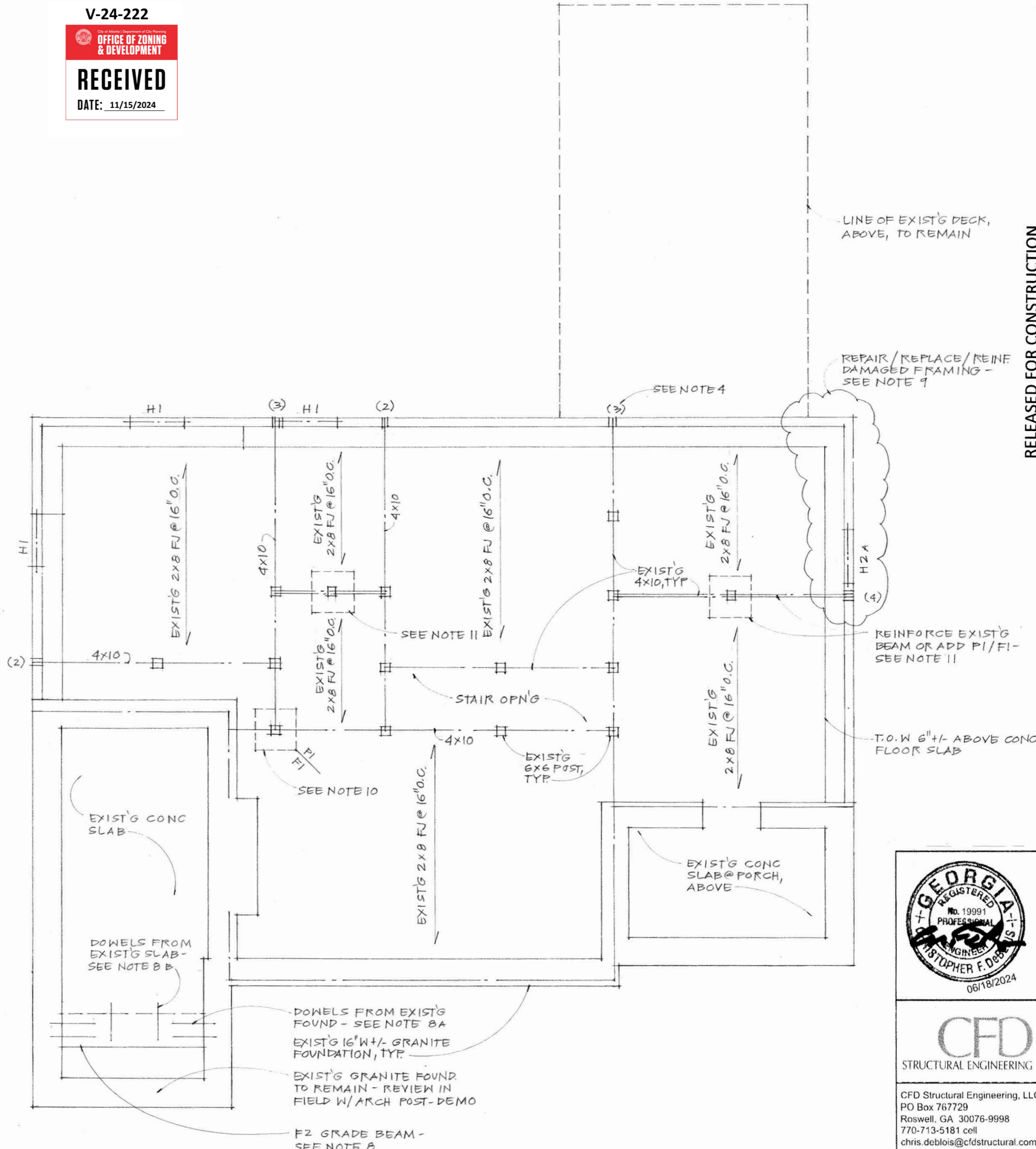
1. All construction including structural components not shown on structural plans must comply with the provisions of the 2018 International Residential Code (IRC) with 2020 and 2022 Georgia amendments.
2. Verify all existing conditions in field, including configuration and condition of existing first floor framing and foundations to remain. Notify Architect / Structural Engineer of any questionable or unexpected conditions for revisions to design as needed.
3. Design of new footings is based on an allowable soil bearing stress of 2000 psf. Contractor must verify soil capacity and notify structural engineer for redesign if soil capacity is less than 2000 psf.
4. (3) indicates number of studs to support concentrated load (3 studs in example)
5. 2J / 1K indicates number of jack / king studs to support end of header (2 jacks, 1 king in exam)
6. HHUS410 Indicates face mount hanger for beam support. Provide beam hangers sizes as shown. Where hangers are not specifically shown, provide manufacturer's standard recommended hanger size.
7. SW1 Typical structural sheathing at all new and modified exterior walls:
1/2" APA Rated sheathing, exposure 1 with 8d nails 6" on center at panel edges and 12" on center at intermediate supports. Provide solid blocking between studs behind all horizontal joints in sheathing and fasten both panels to blocking with 8d nails 6" on center.
8. Cut back existing foundation and add new grade beam footing type F2
a. Provide 4 #4 dowels (2 top and bottom) from existing foundation to new grade beam. Epoxy 6" into existing and lap 24" minimum with new reinforcing
b. Provide 2 #4 x 2'-0" dowels from existing slab to new grade beam. Epoxy 6" into existing slab.
9. Contractor review condition of all existing wall and floor framing at right rear corner of basement. Replace or reinforce all termite damaged and/or rotted framing as needed. Provide Pressure Treated (PT) material for all new framing and sheathing in this area.
10. Add new P1 post on F1 footing at unsupported intersection of existing beams.
11. Reinforce existing 1st floor beam OR add new mid-span support:
a. Add one (1) LVL 1 3/4" x 9 1/4" full length to front or rear face of existing beam, OR
b. Add new P1 post on F1 footing at mid-span of existing beam.
12. Align new ceiling joists with new rafters and fasten with four (4) 16d nails each joist. Do not attach new ceiling joists to existing rafters.
13. At each side of (two) skylight openings, locate rafters to receive new ceiling joists and fasten joists to new rafters with four (4) 16d nails. Add blocking as needed for final rough opening in roof and ceiling.
Remove existing ridge board to allow splicing / overlap for new rafters.
14. Extend new rafters to 2nd floor bearing walls. Do not stop rafters short of bearing walls.
15. Provide (3) 2x6 "I" brace to stud pack below, two (2) locations as noted.
16. Install new ridge beam continuous where possible, splice ONLY at intermediate braces if necessary.
17. Exact position of new CB2 to be determined in field. Locate to support existing upper and lower rafters with bottom of beam flush with bottom of new (raised) ceiling over Studio.
18. Minimum design properties for LVL beams:
a. Allowable Bending Stress Fb = 2850 psi
b. Modulus of Elasticity E = 2000 ksi

V-24-222



RECEIVED

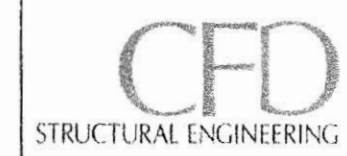
DATE: 11/15/2024



FOUNDATION / FIRST FLOOR FRAMING PLAN

SCALE:

1/4" = 1'-0"



CFD Structural Engineering, LLC
PO Box 767729
Roswell, GA 30076-9998
770-713-5181 cell
chris.deblouis@cfstructural.com

Renovations and Additions to the Luna Residence
1776 Marlbrook Drive, NE
Atlanta, Georgia 30307
Project # 24034

USE OF THIS DRAWING:
This drawing is the exclusive property of the structural engineer. It is to be used only for the project and location specifically identified on this drawing and may not be used on any other project or for any other location without written permission of CFD Structural Engineering, LLC. Copyright CFD Structural Engineering, LLC 2024.
Sealed for Structural Information Only

REVISIONS	BY

JOHN STEVEN CONWAY
ARCHITECT
404 378 5787
JSCONWAY@AOL.COM
307 GLENN CIRCLE
DECATUR, GA 30030



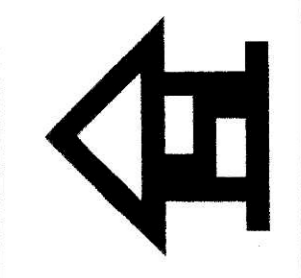
RELEASED FOR CONSTRUCTION

PROPOSED RENOVATIONS FOR
Joe Warras and Jessica Luna
1776 Marlbrook Drive, Atlanta, GA 30307

Date	6-24-24
Scale	NOTED
Drawn	JSC/CFD
Job	
Sheet	S-1
Of	Sheets

REVISIONS	BY

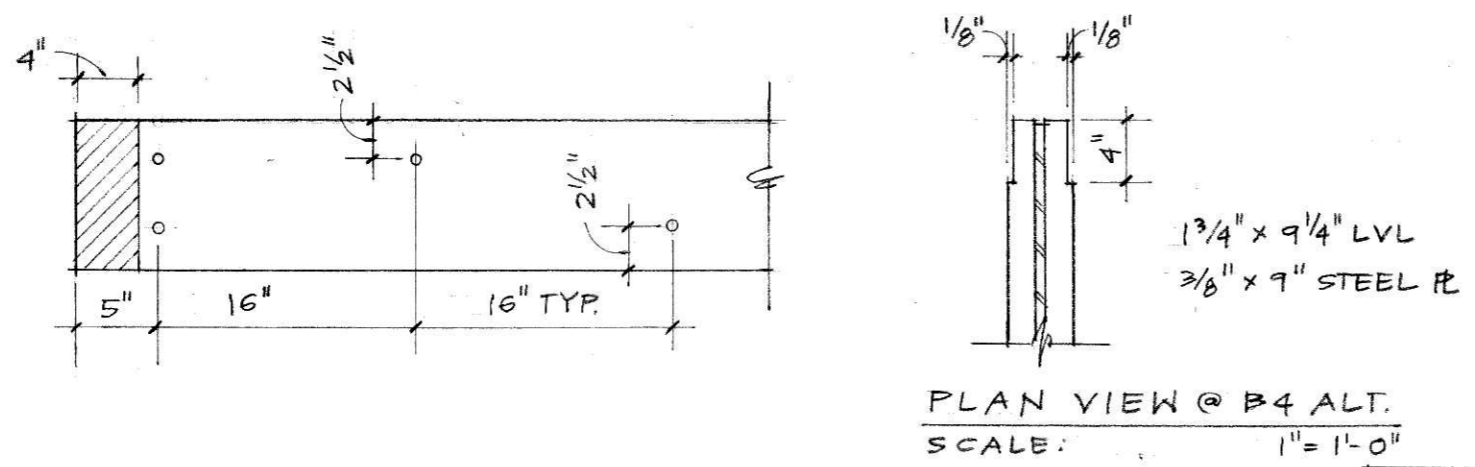
JOHN STEVEN CONWAY
ARCHITECT
404 378 5787
JSCONWAY@AOL.COM
307 GLENN CIRCLE
DECATUR, GA 30030



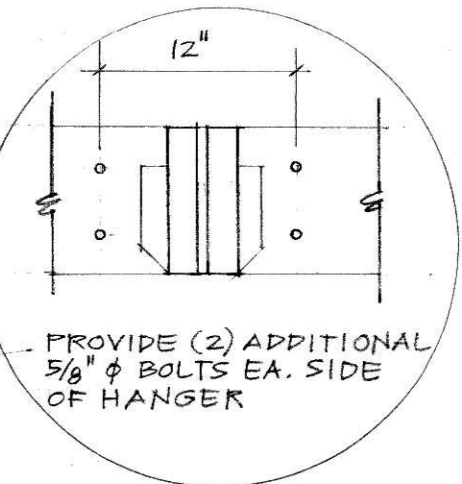
PROPOSED RENOVATIONS FOR
Joe Warras and Jessica Luna
1776 Marlbrook Drive, Atlanta, GA 30307

Date 6.24.24
Scale NOTED
Drawn JSC/CFD
Job
Sheet **S-2**
Of Sheets

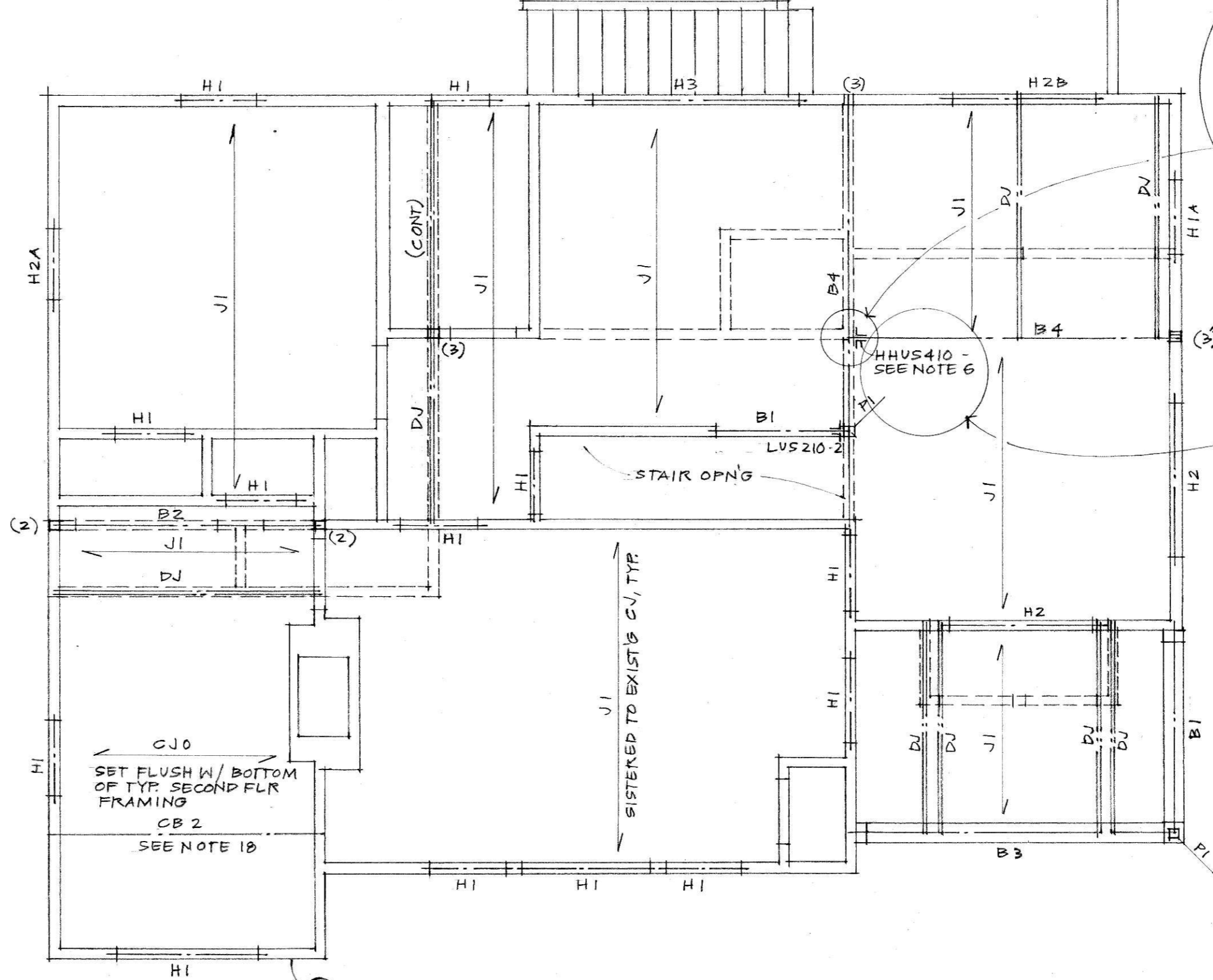
B4 ALTERNATE: (2) 1 3/4" x 9 1/4" LVL + STEEL PL 3/8" x 9"
BOLT FLITCH BEAMS W/ 5/8" φ THROUGH BOLTS
(2) EA. END + 16" O.C. STAGGERED TOP & BOT.



EXIST'G DECK, BELOW,
TO REMAIN

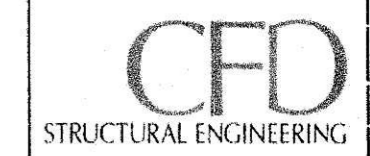
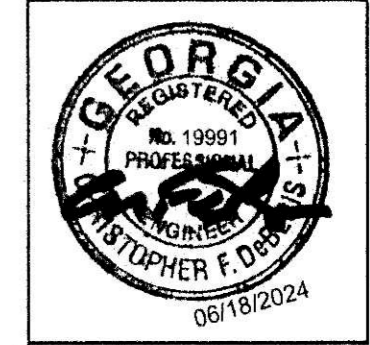


RELEASED FOR CONSTRUCTION



V-24-222
City of Atlanta | Department of City Planning
OFFICE OF ZONING & DEVELOPMENT
RECEIVED
DATE: 11/15/2024

SECOND FLOOR FRAMING PLAN
SCALE: 1/4" = 1'-0"

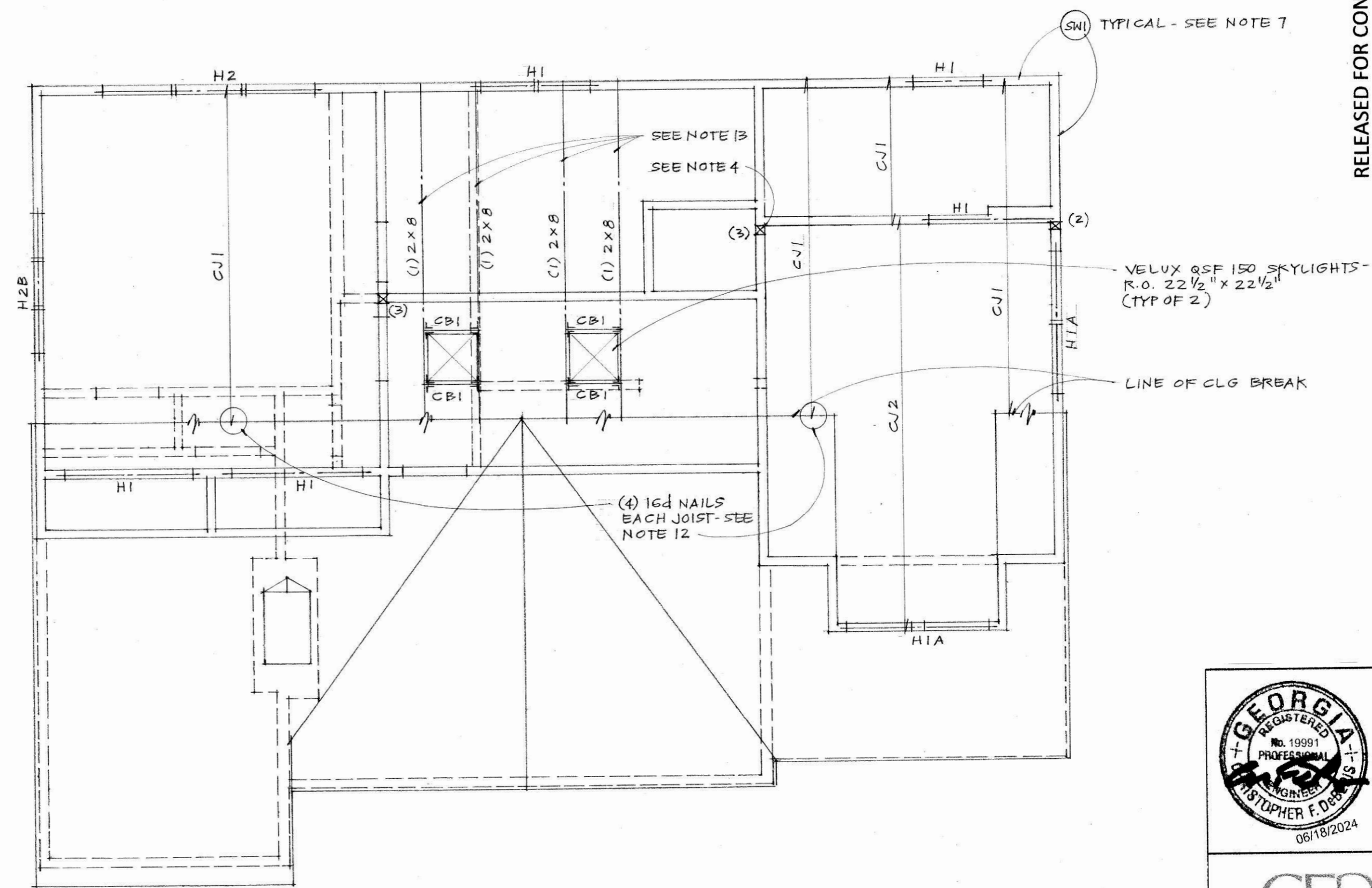


CFD Structural Engineering, LLC
PO Box 767729
Roswell, GA 30076-9998
770-713-5181 cell
chris.deblois@cfstructural.com

Renovations and Additions to the
Luna Residence
1776 Marlbrook Drive, NE
Atlanta, Georgia 30307
Project # 24034

USE OF THIS DRAWING:
This drawing is the exclusive property of the structure engineer, CFD Structural Engineering, LLC. Copyright 2024. It is not to be copied or reproduced in whole or in part without written permission. It is to be used solely for the project and location specifically identified on this drawing and may not be used on any other project or at any other site location without written permission of CFD Structural Engineering, LLC.
Copyright CFD Structural Engineering, LLC 2024

V-24-222
OFFICE OF ZONING & DEVELOPMENT
RECEIVED
 DATE: 11/15/2024

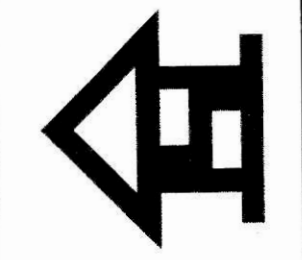


CEILING JOIST FRAMING PLAN
 SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION

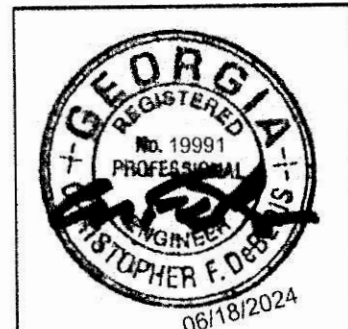
REVISIONS	BY

JOHN STEVEN CONWAY
 ARCHITECT
 404 378 5787
 JSCONWAY@AOL.COM
 307 GLENN CIRCLE
 DECATUR, GA 30030



PROPOSED RENOVATIONS FOR

Joe Warras and Jessica Luna
 1776 Marlbrook Drive, Atlanta, GA 30307



CFD
 STRUCTURAL ENGINEERING

CFD Structural Engineering, LLC
 PO Box 767729
 Roswell, GA 30076-9998
 770-713-5181 cell
 chris.deblois@cfstructural.com

Renovations and Additions to the
 Luna Residence
 1776 Marlbrook Drive, NE
 Atlanta, Georgia 30307
 Project # 24034

USE OF THIS DRAWING:
 This drawing is the exclusive property of the structural engineer, CFD Structural Engineering, LLC. Copyright 2024. It is not to be copied or reproduced in whole or in part without written permission. Use is limited to the project and location specifically identified on this drawing and may not be used on any other project or at any other site without the written permission of CFD Structural Engineering, LLC. Copyright CFD Structural Engineering, LLC 2024

Date 6-24-24

Scale NOTED

Drawn JSC/CFD

Job

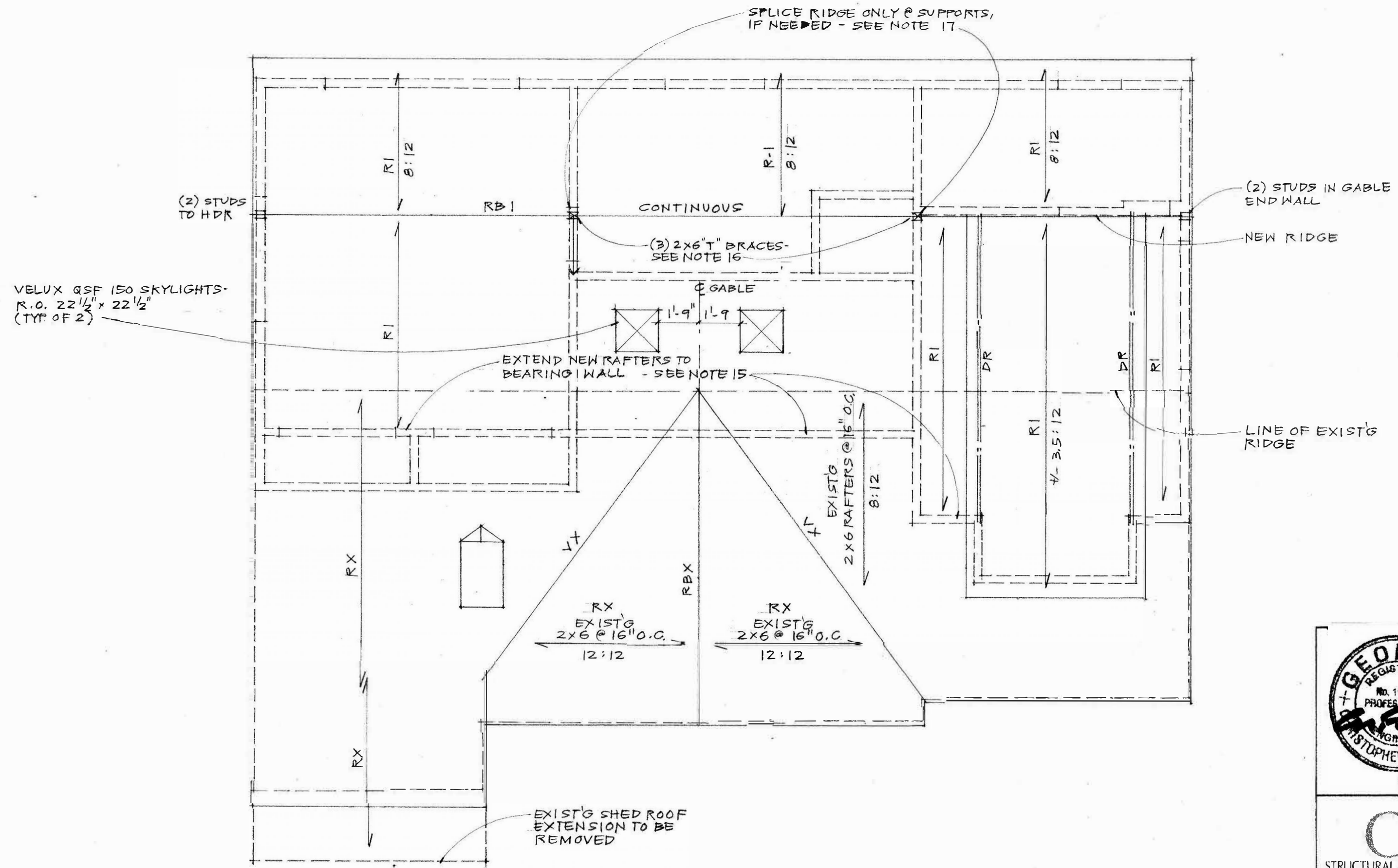
Sheet **S-3**
 Of Sheets

V-24-222



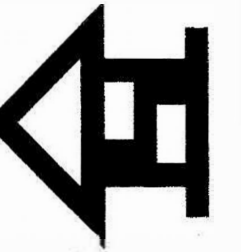
RECEIVED

DATE: 11/15/2024



ROOF FRAMING PLAN
 SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION



JOHN STEVEN CONWAY
 ARCHITECT
 404 378 5787
 JSCONWAY@AOL.COM
 307 GLENN CIRCLE
 DECATUR, GA 30030

PROPOSED RENOVATIONS FOR
Joe Warras and Jessica Luna
 1776 Marlbrook Drive, Atlanta, GA 30307



CFD
 STRUCTURAL ENGINEERING

CFD Structural Engineering, LLC
 PO Box 767729
 Roswell, GA 30076-9998
 770-713-5181 cell
 chris.debois@cfstructural.com

Renovations and Additions to the
 Luna Residence
 1776 Marlbrook Drive, NE
 Atlanta, Georgia 30307
 Project # 24034

USE OF THIS DRAWING:
 This drawing is the exclusive property of the structural engineer, CFD Structural Engineering, LLC, copyright 2024. It is not to be copied, reproduced, altered or in any way used without the written permission of the engineer. The project and structure are specifically identified on this drawing, and may not be used on any other project or in any other way without the written permission of CFD Structural Engineering, LLC. 2024
 Sealed for Structural Information Only

Date	6-24-24
Scale	NOTED
Drawn	JSC/CFD
Job	
Sheet	S-4
Of	Sheets

V-24-222

OFFICE OF ZONING
& DEVELOPMENT

RECEIVED

DATE: 11/15/2024



V-24-222

OFFICE OF ZONING
& DEVELOPMENT

RECEIVED

DATE: 11/15/2024



V-24-222
OFFICE OF ZONING
& DEVELOPMENT
RECEIVED
DATE: 11/15/2024



V-24-222

OFFICE OF ZONING
& DEVELOPMENT

RECEIVED

DATE: 11/15/2024



V-24-222

OFFICE OF ZONING
& DEVELOPMENT

RECEIVED

DATE: 11/15/2024



V-24-222



OFFICE OF ZONING
& DEVELOPMENT

RECEIVED

DATE: 11/15/2024



RECEIPT

CITY OF ATLANTA
DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
55 TRINITY AVE SW, ATLANTA GA 30303
404-330-6070



Application: V-24-222

Application Type: Planning/BZA/Variance/NA

Address: 1776 MARLBROOK DR NE, ATLANTA, GA 30307

Owner Name:

Owner Address:

Application Name: 1776 MARLBROOK DR NE

Receipt No.	Ref Number	Amount Paid	Payment Date	Cashier ID	Received	Comments
952410		\$100.00	11/15/2024	PUBLICUSER0		

Work Description: Applicant seeks a variance from the zoning ordinance to 1) reduce the front yard from the required 35-feet to 14.8-feet, and 2) seeks a special exception from the zoning ordinance to allow for a parking bay in the required front yard. The Applicant has not requested additional variances/special exceptions based on application materials submitted.

RECEIPT



CITY OF ATLANTA
 DEPARTMENT OF PLANNING AND COMMUNITY DEVELOPMENT
 55 TRINITY AVE SW, ATLANTA GA 30303
 404-330-6070

Application: V-24-222
Application Type: Planning/BZA/Variance/NA
Address: 1776 MARLBROOK DR NE, ATLANTA, GA 30307
Owner Name:
Owner Address:
Application Name: 1776 MARLBROOK DR NE

Receipt No.	Ref Number	Amount Paid	Payment Date	Cashier ID	Received	Comments
952542		\$100.00	11/18/2024	PUBLICUSER818308		

Work Description: Applicant seeks a variance from the zoning ordinance to 1) reduce the front yard from the required 35-feet to 14.8-feet, and 2) seeks a special exception from the zoning ordinance to allow for a parking bay in the required front yard. The Applicant has not requested additional variances/special exceptions based on application materials submitted.