



**OFFICE OF ZONING AND DEVELOPMENT**  
55 Trinity Avenue S.W., Suite 3350  
Atlanta, Georgia 30303  
(404) 330-6145

APPLICATION #: **V-24-222**

DATE ACCEPTED: **11/15/2024**

## NOTICE TO APPLICANT

Address of Property:

**1776 Marlbrook DR NE**

City Council District: **5** Neighborhood Planning Unit (NPU): **N**

Board of Zoning Adjustment (BZA) Hearing Date:

**Thursday, January 16, 2025 at 12:00 p.m.**

Council Chambers, 2nd Floor, City Hall  
55 Trinity Avenue, S.W.

The contact person for NPU N is:

**Amy Stout**  
**404-392-3422**  
**npunchair@gmail.com**

Contact info for adjacent NPUs is provided below if necessary:

Please click the link below to access the directory designated as the "meeting location."

[www.atlantaga.gov/government/departments/city-planning/neighborhood-planning-units/neighborhood-and-npu-contacts](http://www.atlantaga.gov/government/departments/city-planning/neighborhood-planning-units/neighborhood-and-npu-contacts)

Please contact the person(s) listed above within five days to find out which meetings you will be required to attend before the next NPU meeting. If you are unable to reach the contact person, please call the city's NPU Coordinator at 404-330-6637.

Signed,

*Johnny Wilson*

JW, for Director, Office of Zoning and Development

*Nina E Gentry*

Nina E Gentry

V-24-222



OFFICE OF ZONING  
& DEVELOPMENT

**RECEIVED**

DATE: 11/15/2024



# APPLICATION FOR BOARD OF ZONING ADJUSTMENT

Please mark "X" next to the type of application(s) you are submitting:

Variance	X
Special Exception	X
Variance & Special Exception	

Date Filed \_\_\_\_\_ Application Number \_\_\_\_\_

Name of Applicant Nina Gentry Daytime Phone 404-218-5730

Company Name (if applicable) Gentry Planning Services, LLC email gps2015@comcast.net

Address 992 Eden Ave SE Atlanta GA 30316  
street city state zip code

Name of Property Owner Joe Warras and Jessica Luna Phone 770-490-2526  
404-430-8786

Address 1776 Marlbrook Drive NE Atlanta GA 30307  
street city state zip code

### Description of Property

Address of Property 1776 Marlbrook Drive NE Atlanta GA 30307  
street city state zip code

Area: 6,791.7 SF Land Lot: 238 District: 15, DeKalb County, GA.

Property is zoned: R-4, Council District: 5, Neighborhood Planning Unit (NPU): N

TO THE BOARD OF ZONING ADJUSTMENT: Applicant, having received a preliminary plan review from the Office of Zoning and Development prior to seeking a building permit or certificate of occupancy, hereby requests that the Board of Zoning Adjustment grant a Variance or Special Exception.

I hereby authorize the staff of the Office of Zoning and Development to inspect the premises of the above-described property. I understand that it is my responsibility to post a public notice sign on the property according to the instructions given to me by the Office of Zoning and Development upon filing this application. I swear that all statements herein and attached hereto are true and correct to the best of my knowledge and belief.

Nina E Gentry  
Owner or Agent for Owner (Applicant)

Nina E. Gentry  
Print Name of Owner

Sworn To And Subscribed Before Me This 8th Day Of Nov, 2021.

Catherine Ann Hurley  
NOTARY PUBLIC





V-24-222



City of Atlanta  
Department of City Planning  
Office of Zoning and Development  
55 Trinity Avenue, Suite 3350  
Atlanta, Georgia 30303  
Phone: 404-330-6145

**BOARD OF ZONING ADJUSTMENT (BZA) REFERRAL FORM**

DATE ISSUED: November 15, 2024

COUNCIL DISTRICT 5 NPU N APPLICATION NUMBER \_\_\_\_\_

Nina Gentry

Name of Applicant

**SCOPE OF WORK**

Renovations and second floor addition to an existing single-family dwelling.

at 1776 Marlbrook Drive NE 15-238  
Street Address Quadrant District & Land Lot

to be used for **Residential** purposes. The property is zoned **R-4 Single-Family Residential District**

2. Prior to the issuance of a Building Permit, the applicant must seek a variance/special exception for the following reasons:

Applicant seeks a variance from the zoning ordinance to 1) reduce the front yard from the required 35-feet to 14.8-feet, and 2) seeks a special exception from the zoning ordinance to allow for a parking bay in the required front yard.

The Applicant has not requested additional variances/special exceptions based on application materials submitted.

**1982 ZONING ORDINANCE, AS AMENDED**

Chapter & Section: Chapter 6 Sec. 16-06.008(1)

Chapter & Section: Chapter 28 Sec. 16-28.008(7)(a)

Chapter & Section: \_\_\_\_\_

Brandon Johnson 11/15/2024  
Plan Reviewer Date

Nina E Gentry 11/15/24  
Applicant Date



## SUMMARY & JUSTIFICATION FOR VARIANCES

**Directions:** Complete responses must be provided for ALL questions. Incomplete applications will not be accepted. The space below may be utilized or responses may be submitted as a separate attachment. Specific criteria for Board approval of variances may be found on page 7. The justification must address the criteria. Please submit a typewritten or legible justification.

Is the property described in this application subject to a pending application or ordinance for a Rezoning or Special Use Permit? \_\_\_\_\_ YES  NO. (If yes, the variance/special exception request will be rescheduled to a hearing following the final approval by City Council & the Mayor). Please provide the relevant zoning application number associated with the subject property: \_\_\_\_\_.

**Summary of proposed construction changes to buildings or site (shall not replace submittal of written criteria).** (Examples: "Convert a 100' x 200' retail space into a restaurant." "Install a 6-foot high opaque wooden wall ('privacy fence' with 6-foot high opaque wall gates.").

Construction a second story addition over the existing footprint.

**Proposed Lot Coverage (After Construction):** Calculate total amount of lot coverage on entire property, after completion of proposed construction, including existing and proposed buildings and other structures; sidewalks, driveways, parking pads, patios, gravel, etc.; everything except natural planted or undisturbed areas.

1,987 covered square feet / 6,791.7 total lot square feet = 29.3 % proposed lot coverage

50 % maximum allowed lot coverage

**Variance Criteria (see page 6 for detailed criteria):** SEE ATTACHED

- 1) What are the extraordinary and exceptional conditions pertaining to the particular piece of property in question (size, shape or topography)? \_\_\_\_\_  
\_\_\_\_\_
- 2) How would the application of the Zoning Ordinance of the City of Atlanta to this particular piece of property create an unnecessary hardship? \_\_\_\_\_  
\_\_\_\_\_
- 3) What conditions are peculiar to this particular piece of property? \_\_\_\_\_  
\_\_\_\_\_
- 4) Submit facts to show that relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of the Zoning Ordinance of the City of Atlanta. \_\_\_\_\_  
\_\_\_\_\_





# SUMMARY & JUSTIFICATION FOR SPECIAL EXCEPTIONS

**Directions:** Complete responses must be provided. Incomplete applications will not be accepted. The space below may only be utilized for the summary of proposal or responses may be submitted as a separate attachment. Specific criteria for Board approval of special exceptions may be found on page 9. **The justification must address the criteria. Please submit a separate justification for responses to the applicable special exception criteria.**

Is the property described in this application subject to a pending application or ordinance for a Rezoning or Special Use Permit? \_\_\_\_\_YES  NO. (If yes, the variance/special exception request will be rescheduled to a hearing following the final approval by City Council & the Mayor.) Please provide the relevant zoning application number associated with the subject property: \_\_\_\_\_.

**Summary of proposed special exception request (shall not replace submittal of written criteria).** (Examples: "Installation of a swimming pool adjacent to the public right of way ("active recreation"), "Install a 6-foot high opaque wooden wall ('privacy fence' with 6-foot high opaque wall gates.").

- Parking & Loading:** List the hours and manner of operation for the proposed use, the maximum number of employees who will park on the site at any given time, and list the maximum estimated number of customers (visitors or similar persons) who will require automobile parking in connection with the use on the site at any given time. **If you are proposing off-site parking, see the attached Standards for off-site Parking Agreements (page 11).**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- Walls and Fences:** Any request for walls or fences should include a site plan and elevations showing the full extent of the wall or fence and a drawing showing a typical portion of the wall or fence including gates of ornamental fences. \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- Active Recreation:** \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- Non-Conforming Uses & Structures (i.e. duplex):** \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

- All other Special Exception Requests:** Allow an existing parking pad in the front yard setback to remain. The parking pad has been in place since the dwelling was constructed in the 1970s to provide off street parking for the property. This was due to the dwelling needing to be constructed closer to the street because of the topography. No change is proposed to the existing parking pad.

\_\_\_\_\_  
\_\_\_\_\_





**Variance Request**  
**1776 Marlbrook Drive NE**

1776 Marlbrook Drive NE is a nonconforming R-4 (single-family residential) zoned lot on the north side of Marlbrook Drive in the Lake Claire neighborhood, NPU-N, Council District 5. It consists of 49.98 feet of street frontage and 6,791.7 SF of land area. Both are less than what is required for properties zoned R-4, 70 feet of frontage and 9,000 SF of land area. The property is rectangular and the topography slopes down beginning at the façade of the dwelling to the rear property having a change in grade of approximately 20 feet. It is developed with a one-story dwelling with walkout basement. The existing lot coverage is 29.3% which is under the allowable 50% and will not increase with the proposed improvements.

The Owners are constructing a second story addition over the existing footprint. The dwelling encroaches into the east and west side yard setbacks, but a variance is not required for the addition of a second story because the height will meet code section 16.24-004(6ii). The mean height of the dwelling at the new roof ridgeline will be 27'-10". However, the dwelling encroaches into the front yard setback having a setback of 14.8 feet. Because the second story addition will include a portion of the area of the dwelling that encroaches into the front yard a setback reduction for the front yard is required. No trees are involved in the proposed improvements nor will the lot coverage be increased.

There is an existing parking pad in the front yard that has been in place since the home was constructed in the 1970s. Because of the topography the dwelling was constructed with a front yard setback of 14.8 feet limiting the ability to have a driveway that goes beyond the front façade of the dwelling. Therefore, to enable off street parking for the property the parking pad was constructed. No change is proposed to the parking pad.

Taking all the above into consideration the Owners respectfully ask the Board of Zoning Adjustment approve:

- A variance to decrease the front yard setback from 35 feet to the existing 14.8 feet, and
- A special exception to allow an existing parking pad in the front yard setback

**Variance Justification**

**1. What are the extraordinary and exceptional conditions pertaining to the particular piece of property in question (size, shape or topography)?**

The subject property has less frontage and land area than required for properties zoned R-4. It consists of 49.98 feet of frontage and 6,791.7 SF of land area. The topography has a change in grade front to back of approximately 20 feet. These are extraordinary and exceptional conditions pertaining to the size, shape and topography of the subject property.

**2. How would the application of the Zoning Ordinance of the city of Atlanta to this particular piece of property create an unnecessary hardship?**

An application of the zoning regulations would cause a hardship by preventing the proposed improvements or anything similar. Because the existing dwelling encroaches into the front yard setback it would be difficult to construct a useable second story and not need a variance. The second story addition will be within the existing foot print and the lot coverage will not increase. The Owners believe the proposed request is reasonable.

**3. What conditions are peculiar to this particular piece of property?**





The Owners have no knowledge of similar lot conditions on adjoining neighborhood properties. However, the existence of similar conditions on adjoining properties does not negate the desirability of the proposal.

**4. Submit facts to show that relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of the Zoning Ordinance of the City of Atlanta.**

The proposal would not impose upon the adequate light and/or air on the adjacent properties. Furthermore, the request would not pose a potential impediment on emergency access or threats to health and fire safety because the property has room for the requested improvements. The request allows an increase in the quality of life, which improves and reinforces the sustaining stability of the surrounding neighborhood. Relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of the Zoning Ordinance. The Owners feel the requested variance to be reasonable.

V-24-222



# PROPOSED RENOVATIONS TO THE WARRAS+LUNA RESIDENCE 1776 MARLBROOK DRIVE ATLANTA, GEORGIA 30307

## APPLICABLE CODES/YEAR

- IBC 2018 EDITION WITH GA AMENDMENTS (2020)
- IRC 2018 EDITION WITH GA AMENDMENTS (2020)
- IFC 2018 EDITION WITH GA AMENDMENTS (2020)
- IPC 2018 EDITION WITH GA AMENDMENTS (2020)
- IMC 2018 EDITION WITH GA AMENDMENTS (2020)
- IFGC 2018 EDITION WITH GA AMENDMENTS (2020)
- NEC 2020 EDITION WITH NO AMENDMENTS
- IECC 2015 EDITION WITH GA AMENDMENTS (2020)
- NFPA 101 LIFE SAFETY CODE 2018 WITH STATE AMENDMENTS (2020)

## PROJECT DESCRIPTION:

PROPOSED FIRST FLOOR INTERIOR RENOVATION TO CREATE NEW PRIMARY SUITE; PROPOSED SECOND FLOOR AREA WITH NEW REAR-FACING SHED DORMER AT EXISTING ATTIC.

**ZONING:** R-4  
**BUILDING HEIGHT - FRONT:** 23'-0"  
**BUILDING HEIGHT - REAR:** 31'-6"  
**BUILDING HEIGHT - SIDE:** 28'-6"  
**BUILDING HEIGHT - MEAN:** 27'-10"  
**TOTAL SQ FTG:** 1742 S.F. HEATED

## OWNERS:

JOE WARRAS AND JESSICA LUNA  
770-490-2526

## CONTRACTOR:

## SQUARE FOOTAGE SUMMARY

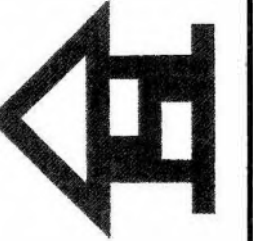
**EXISTING FIRST FLOOR** 1060 S.F.  
**EXISTING AREA TO BE REMOVED** < 29 S.F.>  
**PROPOSED SECOND FLOOR** 711 S.F.  
**TOTAL PROPOSED HEATED** 1742 S.F.

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- EX-3 AS-BUILT RIGHT/LEFT SIDE ELEVATIONS
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- S-2 FOUNDATION/FIRST FLOOR FRAMING PLAN
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- S-5 ROOF FRAMING PLAN

REVISIONS	BY

JOHN STEVEN CONWAY  
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JSCONWAY@AOL.COM  
307 GLENN CIRCLE  
DECATUR, GA 30030



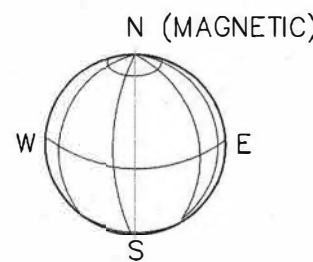
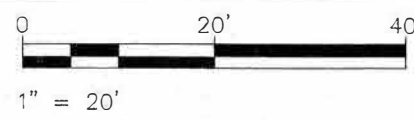
PROPOSED RENOVATIONS FOR  
**Joe Warras and Jessica Luna**  
1776 Marlbrook Drive, Atlanta, GA 30307

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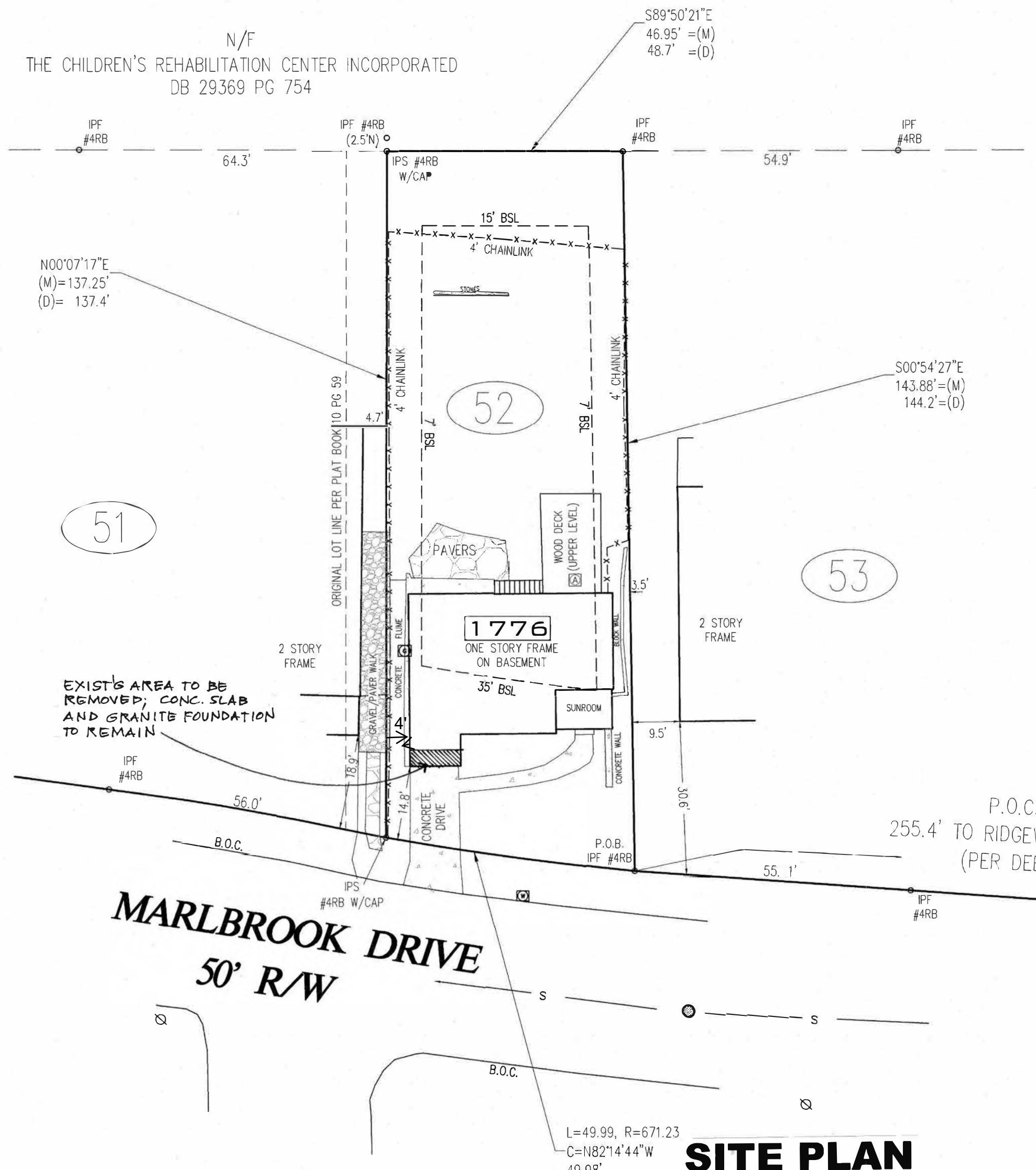


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N/F  
THE CHILDREN'S REHABILITATION CENTER INCORPORATED  
DB 29369 PG 754



51

52

53

EXIST'G AREA TO BE REMOVED; CONC. SLAB AND GRANITE FOUNDATION TO REMAIN

P.O.C. 255.4' TO RIDGEWOOD ROAD (PER DEED)

**MARLBROOK DRIVE**  
50' R/W

L=49.99, R=671.23  
C=N82°14'44\"/>

### SITE PLAN

**SITE PLAN IS BASED ON A SURVEY BY DEKALB SURVEYS, INC., DATED 4-5-24 PREPARED FOR JOE WARRAS.**

**SITE ADDRESS: 1776 MARLBROOK DRIVE  
ATLANTA, GA 30307**

**OWNER(S): JOE WARRAS AND JESSICA LUNA  
1776 MARLBROOK DRIVE  
ATLANTA, GA 30307**

**24 HOUR CONTACT: JOE WARRAS  
770-490-2526**

1776 MARLBROOK DRIVE
ZONING: R-4
HOUSE = 1,105 S.F.
DRIVE & WALK = 238 S.F.
SUNROOM = 87 S.F.
WALLS = 36 S.F.
REAR DECK & STEPS = 259 S.F.
CONCRETE FLUME = 85 S.F.
REAR PAVERS AND STONE = 177 S.F.
IMPERVIOUS TOTAL = 1,987 S.F.
LOT AREA = 6,792 S.F.
LOT COVERAGE (%) = 29.3



FOR  
DEKALB SURVEYS, INC.  
407 WEST PONCE DE LEON AVENUE  
SUITE B  
DECATUR, GEORGIA 30030  
404.373.9003

## ZONING NOTES:

**CITY OF ATLANTA ZONING: R-4**  
**MINIMUM BUILDING SETBACKS:**

**FRONT: 35'**  
**SIDE: 7'/17.5'**  
**REAR: 15'**

**MINIMUM LOT AREA: 9000 S.F.**  
**MAXIMUM FLOOR AREA RATIO: .5**  
**MAXIMUM LOT COVERAGE: 50%**  
**MAXIMUM BUILDING HEIGHT: 35'**

**TOTAL LOT AREA: 6792 S.F.**  
**PROPOSED FLOOR AREA: 1742 S.F.**  
**PROPOSED F.A.R.: .26**

**DISTURBED AREA: 29 S.F.**  
**NEW IMPERVIOUS AREA: 0 S.F.**  
**TOTAL IMPERVIOUS: 1987 S.F.**  
**TOTAL LOT AREA: 6792 S.F.**  
**LOT COVERAGE (%): 29.3**

**NO NEW UTILITY WORK PROPOSED**  
**NO TREES TO BE IMPACTED**  
**NO GRADING PROPOSED**

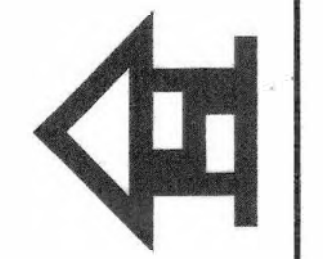
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(D)=DEED



RELEASED FOR CONSTRUCTION

REVISIONS	BY

JOHN STEVEN CONWAY  
ARCHITECT  
404 378 5787  
JSCONWAY@AOL.COM  
307 GLENN CIRCLE  
DECATUR, GA 30030



PROPOSED RENOVATIONS FOR  
**Joe Warras and Jessica Luna**  
1776 Marlbrook Drive, Atlanta, GA 30307

Date	6.24.24
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	<b>SITE PLAN</b>
Of	Sheets







### AUTHORIZATION BY PROPERTY OWNER

(Required only if the applicant is not the owner of the property subject to the proposed application.)

(Please print clearly. Must be the original document. A copy will not be accepted.)

I, Joe Warras and Jessica Luna (OWNER'S NAME) SWEAR AND AFFIRM THAT I AM THE OWNER OF THE PROPERTY AT 1776 Marlbrook Drive (PROPERTY ADDRESS). AS SHOWN IN THE RECORDS OF DeKalb COUNTY, GEORGIA, WHICH IS THE SUBJECT MATTER OF THE ATTACHED APPLICATION. I AUTHORIZE THE PERSON NAMED BELOW TO FILE THIS APPLICATION AS MY AGENT.

**NAME OF APPLICANT:**

LAST NAME Gentry FIRST NAME Nina  
ADDRESS 992 Eden Ave SE SUITE \_\_\_\_\_  
CITY Atlanta STATE GA ZIP CODE 30316

OWNER'S TELEPHONE NUMBER: 404-430-8786 - Jessica ; 770-490-2526 (Joe)

Jemidelia & JOE WARRAS  
SIGNATURE OF OWNER

Jessica Luna & JOE WARRAS  
PRINT NAME OF OWNER

PERSONALLY APPEARED BEFORE ME THE ABOVE NAMES, WHO SWEARS THAT THE INFORMATION CONTAINED IN THIS AUTHORIZATION IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

Rochelle Stevens  
NOTARY PUBLIC

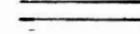
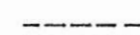

11/6/2024  
DATE





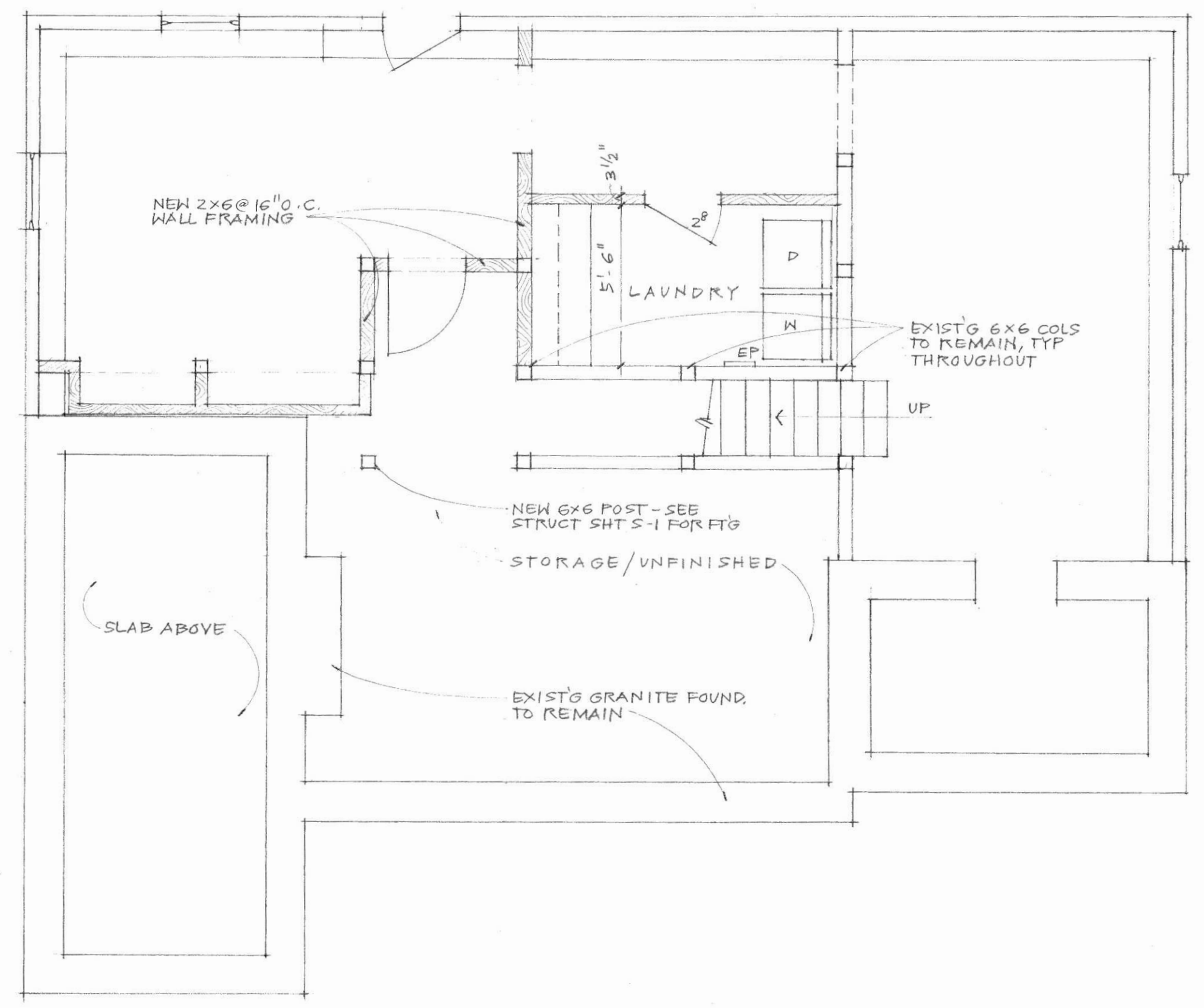
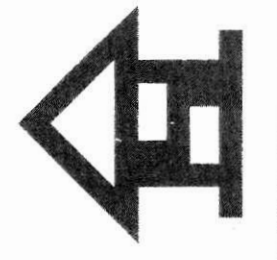
V-24-222  
 OFFICE OF ZONING & DEVELOPMENT  
**RECEIVED**  
 DATE: 11/15/2024

**CONSTRUCTION LEGEND**

- EXISTING WALLS TO REMAIN 
- EXISTING WALLS TO BE REMOVED 
- NEW 2X4 WALL FRAMING @ 16"O.C. 

REVISIONS	BY

JOHN STEVEN CONWAY  
 ARCHITECT  
 404.378.5787  
 JSCONWAY@AOL.COM  
 307 GLENN CIRCLE  
 DECATUR, GA 30030



**BASEMENT FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION

PROPOSED RENOVATIONS FOR  
**Joe Warras and Jessica Luna**  
 1776 Marlbrook Drive, Atlanta, GA 30307



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V-24-222

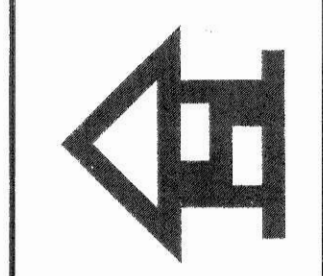


**CONSTRUCTION LEGEND**

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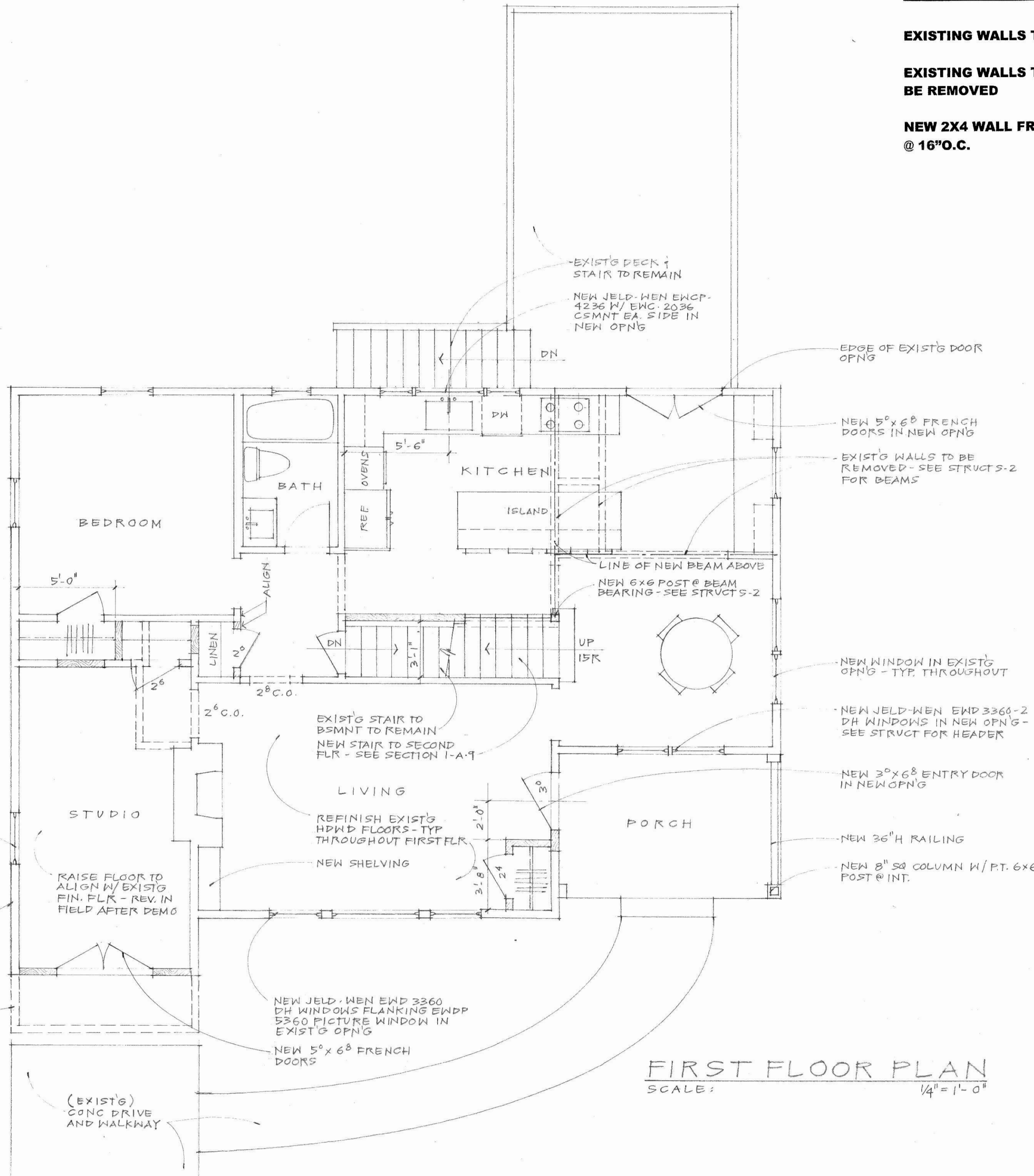


REMOVE EXIST'G DOOR;  
INFILL OPNG AS REQ'D

REV. EXIST'G WINDOWS TO  
REMAIN W/ OWNERS FOR  
POSSIBLE REPLACEMENT

EXTEND WALL FRAMING  
AS REQ'D

EXIST'G AREA TO BE  
REMOVED



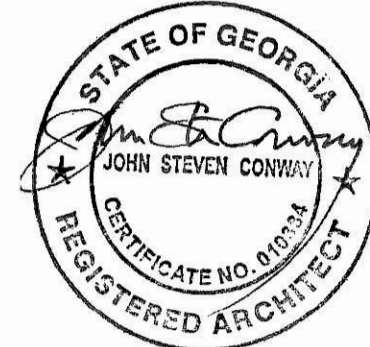
(EXIST'G)  
CONC DRIVE  
AND WALKWAY

**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION

PROPOSED RENOVATIONS FOR

**Joe Warras and Jessica Luna**  
1776 Marlbrook Drive, Atlanta, GA 30307



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V-24-222



**CONSTRUCTION LEGEND**

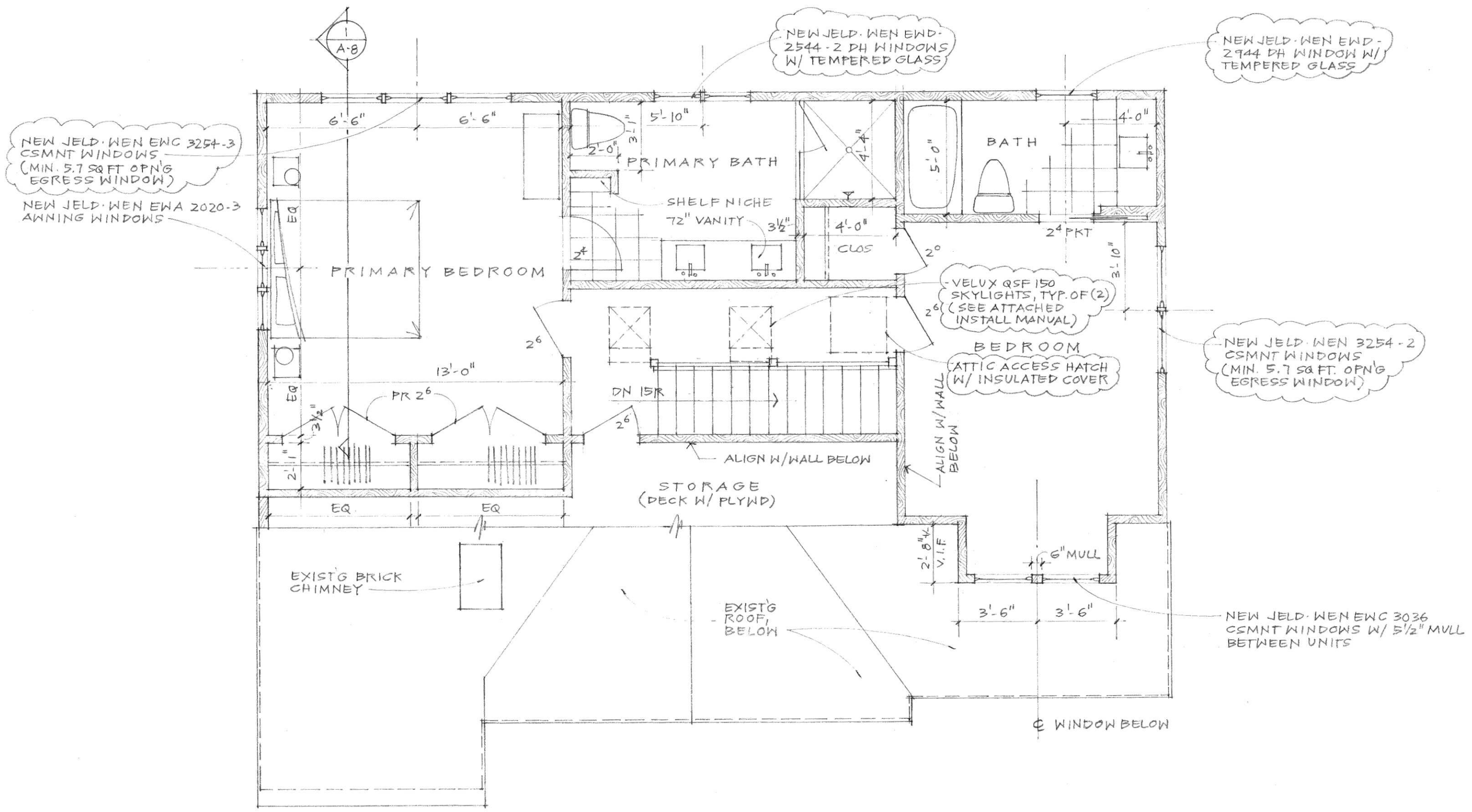
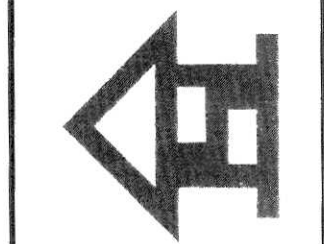
EXISTING WALLS TO REMAIN

EXISTING WALLS TO BE REMOVED

NEW 2X4 WALL FRAMING @ 16"O.C.

REVISIONS	BY
TEMP GLASS / EGRESS WINDOW	JSC
EGRESS WINDOW	JSC
VELUX MANUAL	JSC

JOHN STEVEN CONWAY  
ARCHITECT  
404 378 5778  
JSCONWAY@AOL.COM  
307 GLENN CIRCLE  
DECATUR, GA 30030



**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION

PROPOSED RENOVATIONS FOR

**Joe Warras and Jessica Luna**  
1776 Marlbrook Drive, Atlanta, GA 30307

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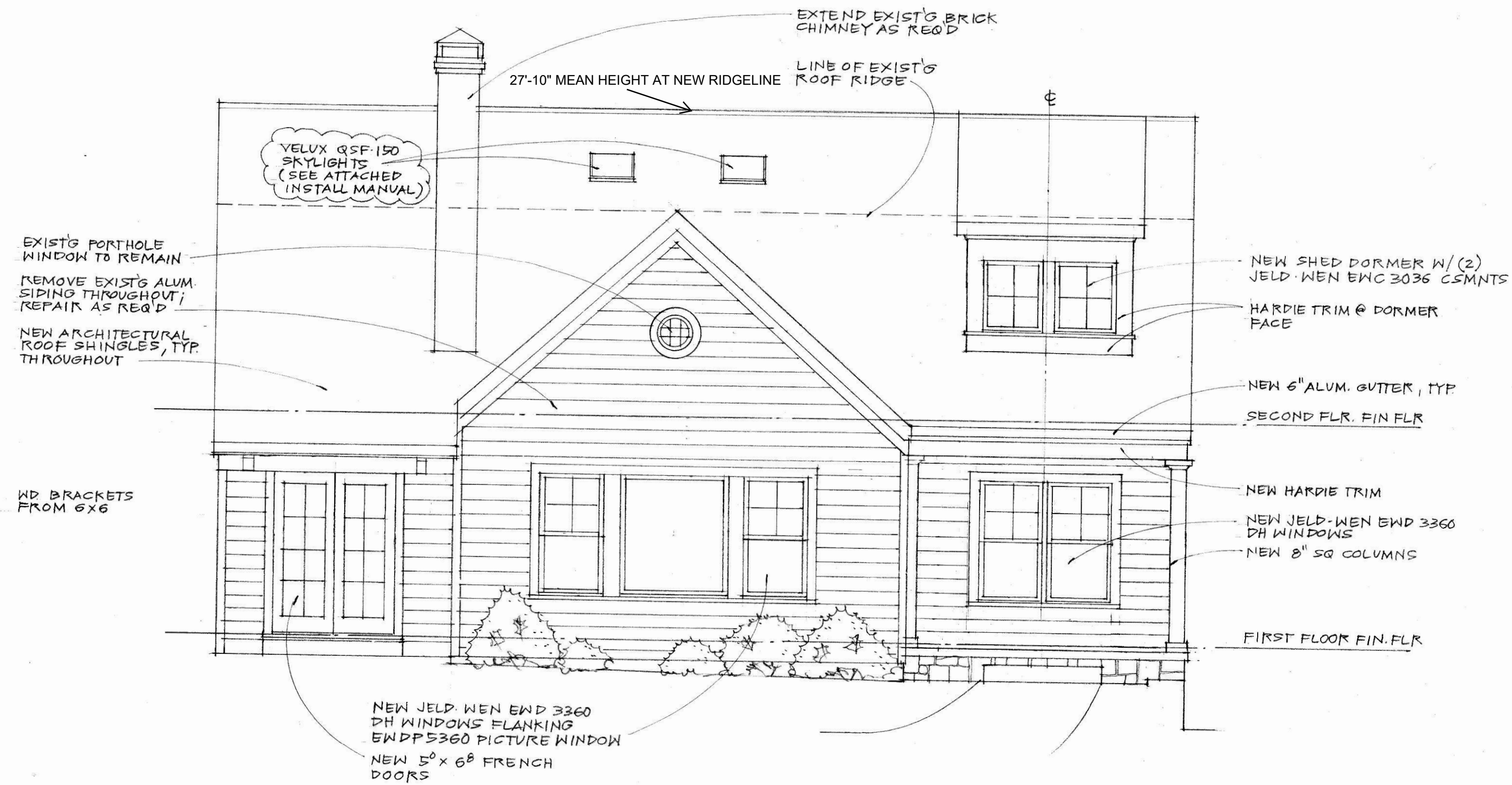
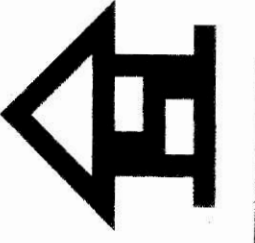


V-24-222



REVISIONS	BY
VELUX INSTALL MANUAL	JSC

JOHN STEVEN CONWAY  
ARCHITECT  
404.378.5778  
JSCONWAY@AOL.COM  
307 GLENN CIRCLE  
DECATUR, GA. 30030



**FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION

PROPOSED RENOVATIONS FOR  
**Joe Warras and Jessica Luna**  
1776 Marlbrook Drive, Atlanta, GA 30307

Date	6-24-24
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Of	Sheets





V-24-222

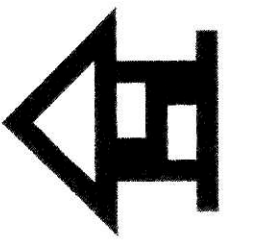
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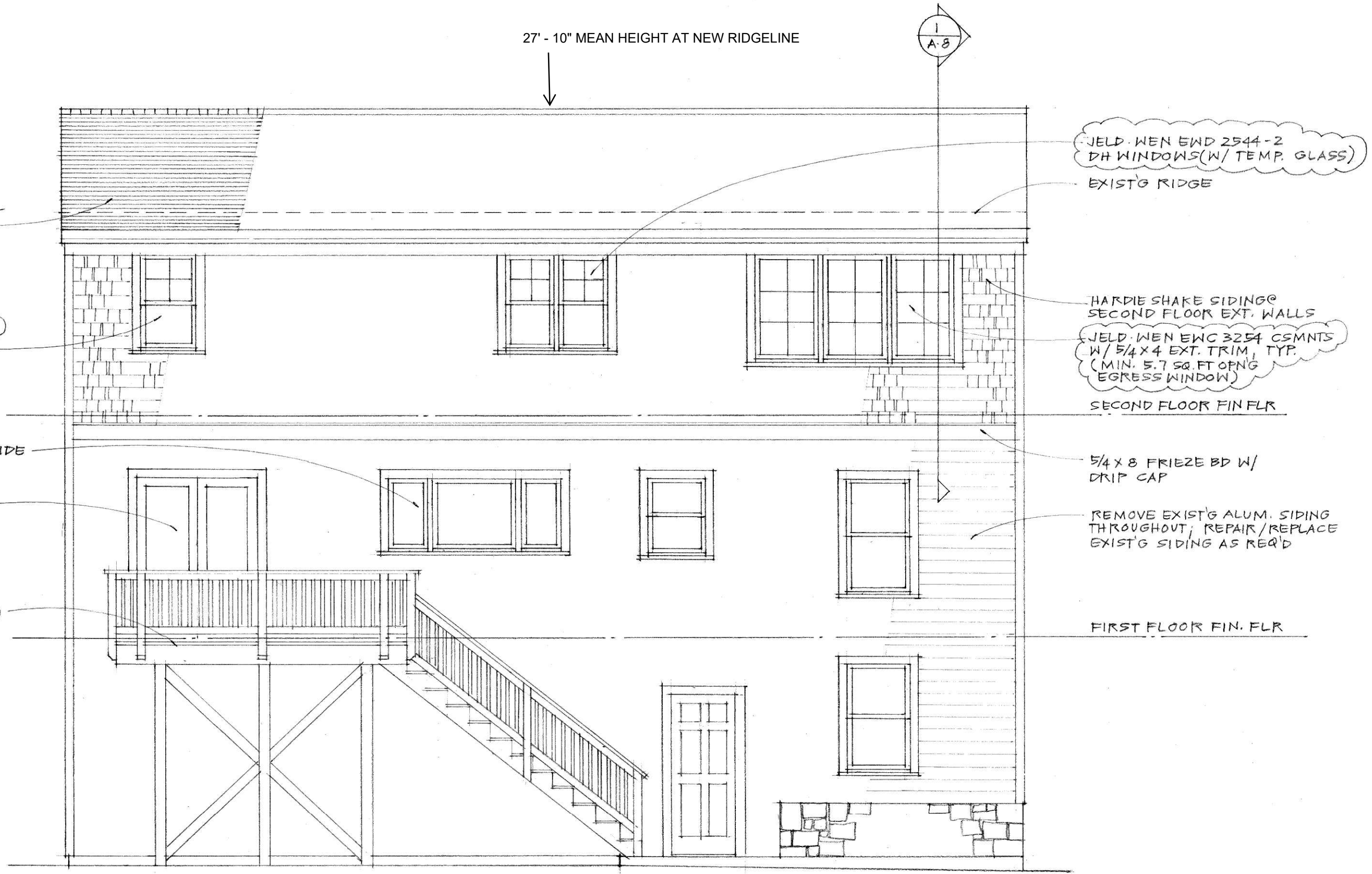
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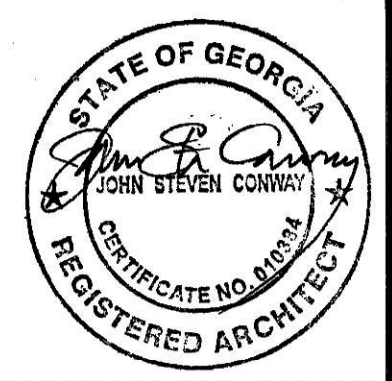


PROPOSED RENOVATIONS FOR  
**Joe Warras and Jessica Luna**  
1776 Marlbrook Drive, Atlanta, GA 30307



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REAR ELEVATION  
SCALE: 1/4" = 1'-0"



Date	6-24-24
Scale	NOTED
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Job	
Sheet	<b>A-5</b>
Of	Sheets

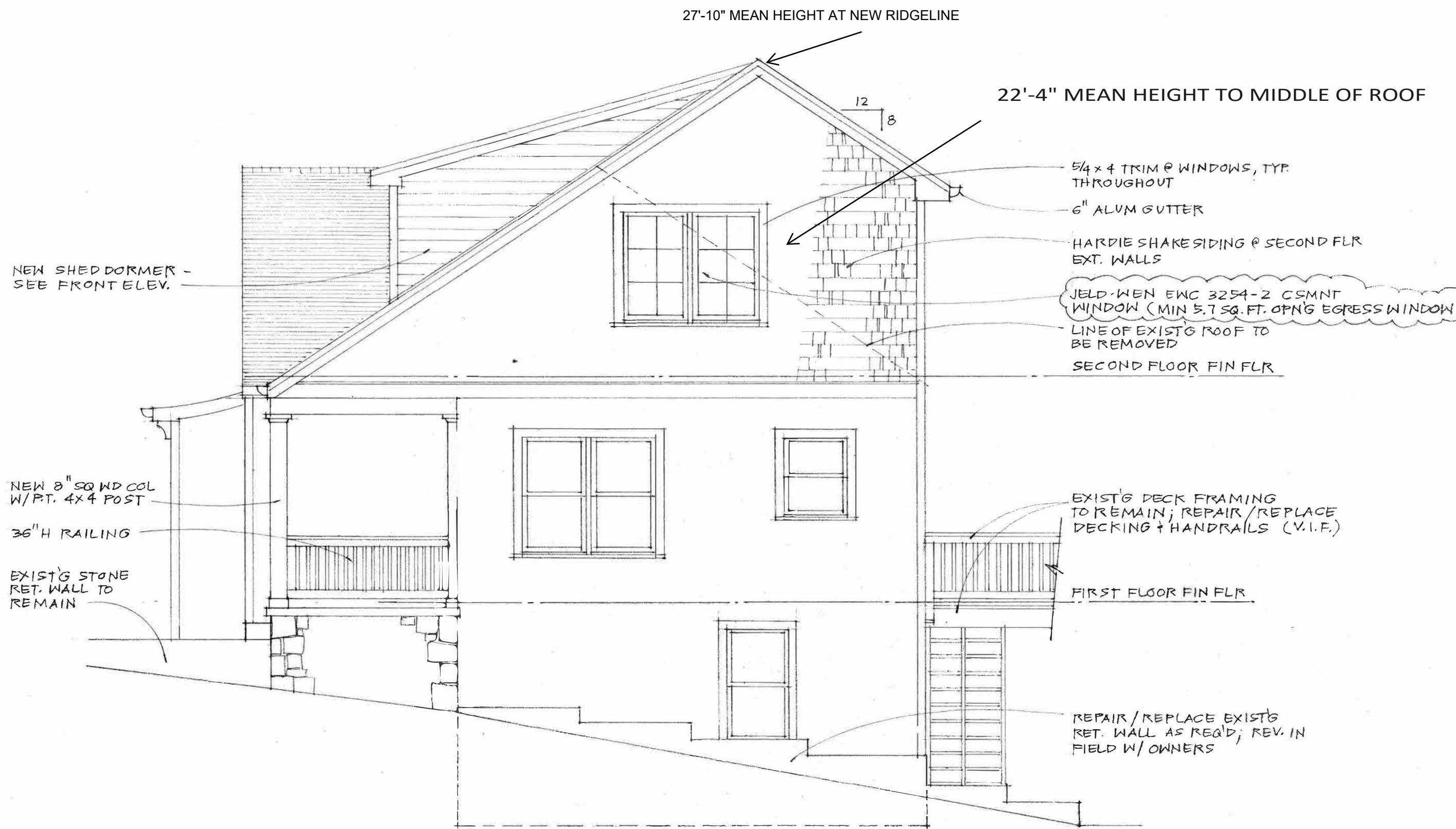


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RIGHT SIDE ELEVATION

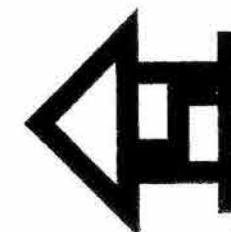
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Joe Warras and Jessica Luna

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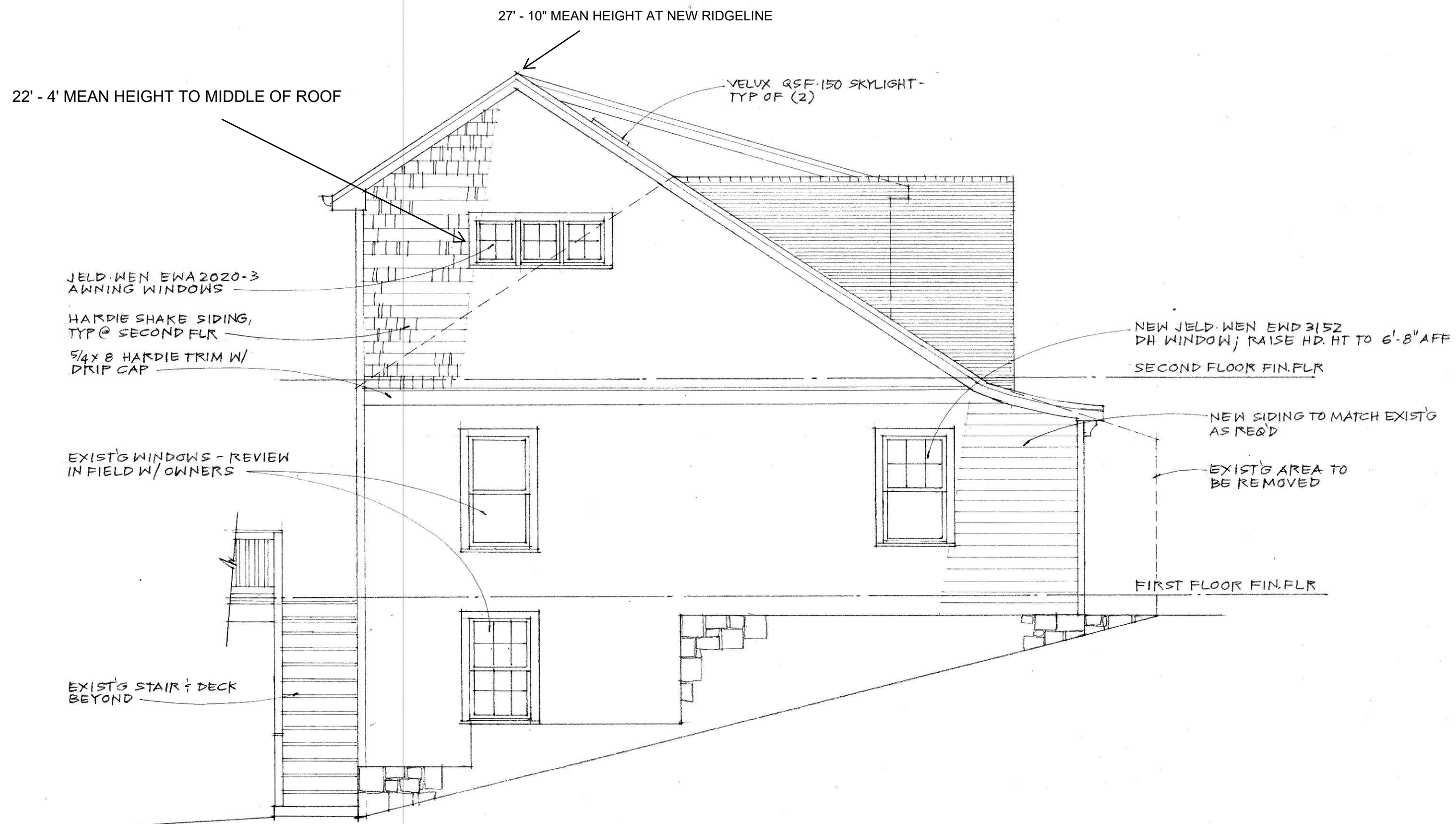
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A-6

Of Sheets





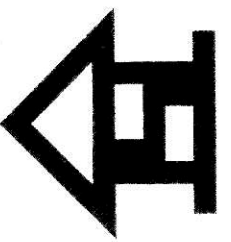
**LEFT SIDE ELEVATION**  
 SCALE: 1/4" = 1'-0"

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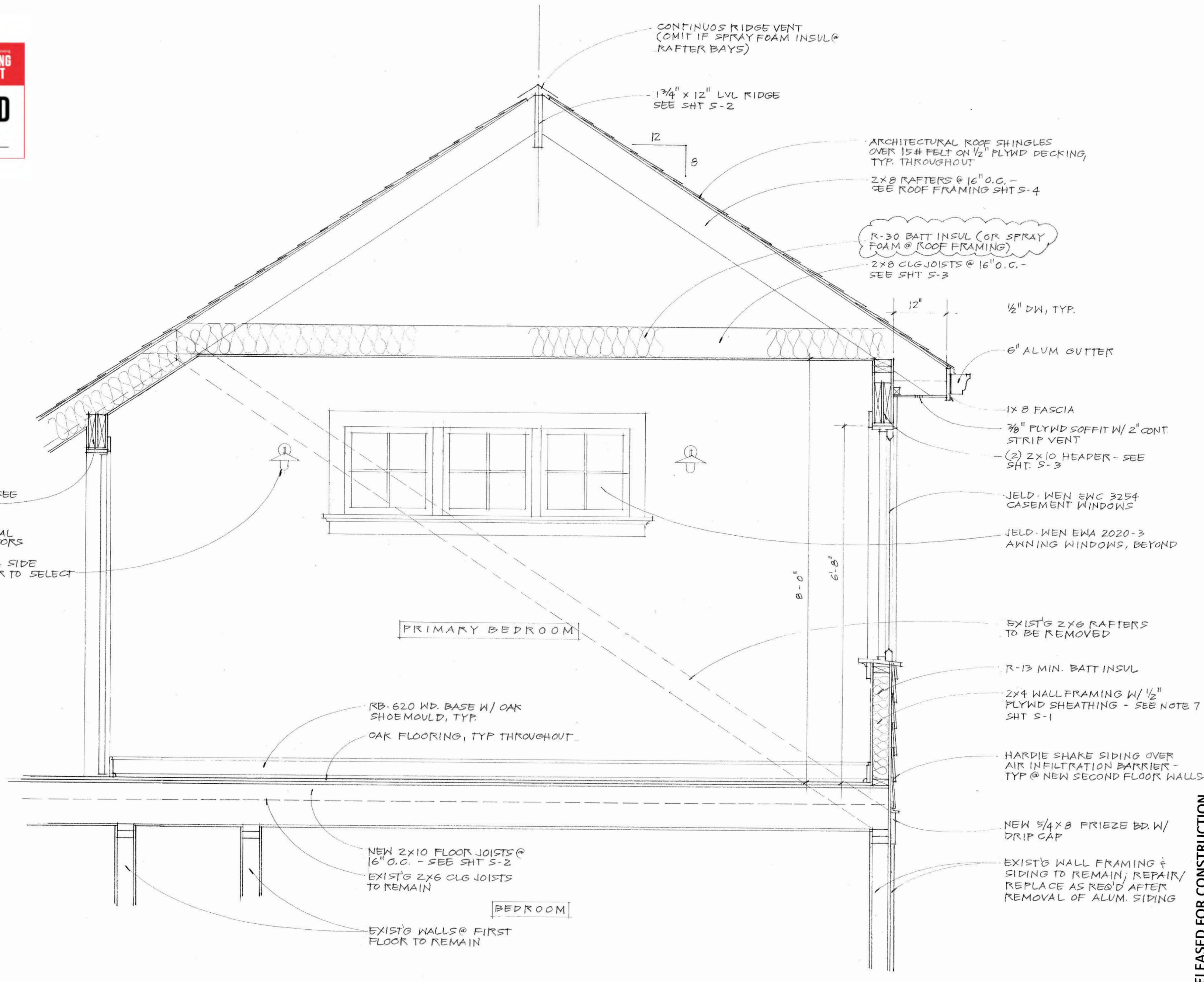


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Date	6-24-24
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Job	
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Of	Sheets



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(2) 2 X 8 HEADER - SEE STRUCT. SHT S-3  
FIELD - VERIFY ACTUAL HEIGHT @ CLOSET DOORS  
SCONCE FIXT. @ EA SIDE OF WINDOW - OWNER TO SELECT

CONTINUOUS RIDGE VENT (OMIT IF SPRAY FOAM INSUL @ RAFTER BAYS)

1 3/4" X 12" LVL RIDGE SEE SHT S-2

ARCHITECTURAL ROOF SHINGLES OVER 15# FELT ON 1/2" PLYWD DECKING, TYP. THROUGHOUT

2 X 8 RAFTERS @ 16" O.C. - SEE ROOF FRAMING SHT S-4

R-30 BATT INSUL (OR SPRAY FOAM @ ROOF FRAMING)

2 X 8 CLG JOISTS @ 16" O.C. - SEE SHT S-3

1/2" DW, TYP.

6" ALUM GUTTER

1 X 8 FASCIA

3/8" PLYWD SOFFIT W/ 2" CONT. STRIP VENT

(2) 2 X 10 HEADER - SEE SHT. S-3

JELD-WEN EWC 3254 CASEMENT WINDOWS

JELD-WEN EWA 2020-3 AWNING WINDOWS, BEYOND

EXIST'G 2 X 6 RAFTERS TO BE REMOVED

R-13 MIN. BATT INSUL

2 X 4 WALL FRAMING W/ 1/2" PLYWD SHEATHING - SEE NOTE 7 SHT S-1

HARDIE SHAKE SIDING OVER AIR INFILTRATION BARRIER - TYP @ NEW SECOND FLOOR WALLS

NEW 5/4 X 8 FRIEZE BD. W/ DRIP CAP

EXIST'G WALL FRAMING & SIDING TO REMAIN; REPAIR/ REPLACE AS REQ'D AFTER REMOVAL OF ALUM. SIDING

PRIMARY BEDROOM

RB-620 WD. BASE W/ OAK SHOE MOULD, TYP.  
OAK FLOORING, TYP THROUGHOUT

NEW 2 X 10 FLOOR JOISTS @ 16" O.C. - SEE SHT S-2  
EXIST'G 2 X 6 CLG JOISTS TO REMAIN

BEDROOM

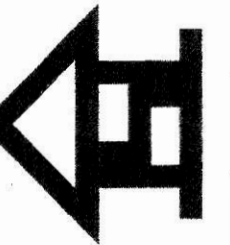
EXIST'G WALLS @ FIRST FLOOR TO REMAIN

SECTION @ PRIMARY BEDROOM  
SCALE: 1/4" = 1'-0"

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PROPOSED RENOVATIONS FOR

Joe Warras and Jessica Luna

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Date 6.24.24

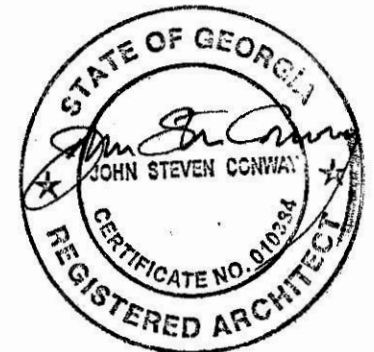
Scale NOTED

Drawn JSC

Job

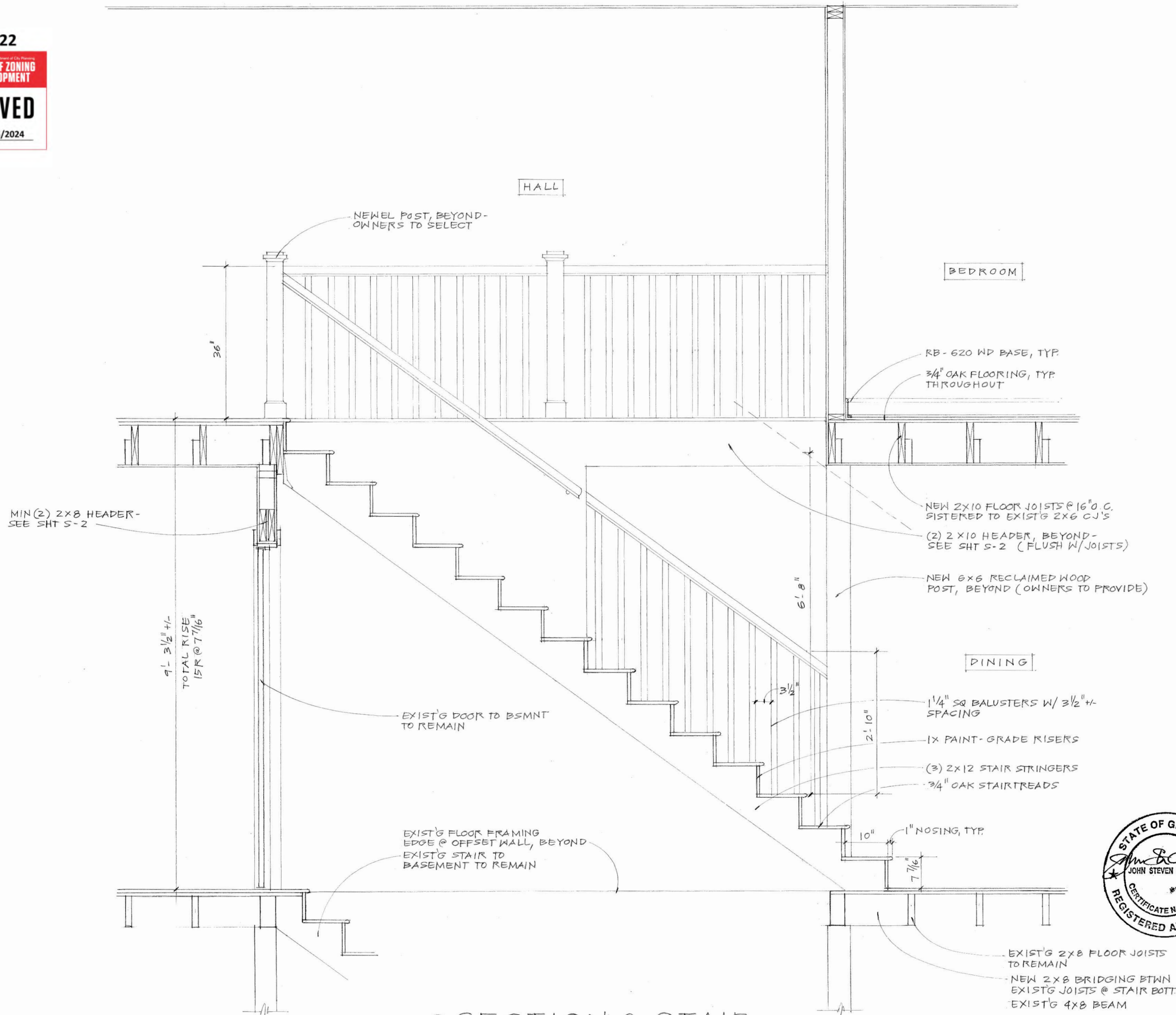
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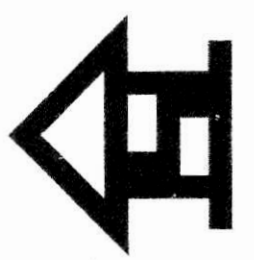
SECTION @ STAIR  
 SCALE: 3/4" = 1'-0"

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PROPOSED RENOVATIONS FOR  
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Date	6-24-24
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Job	
Sheet	<b>A-9</b>
Of	Sheets



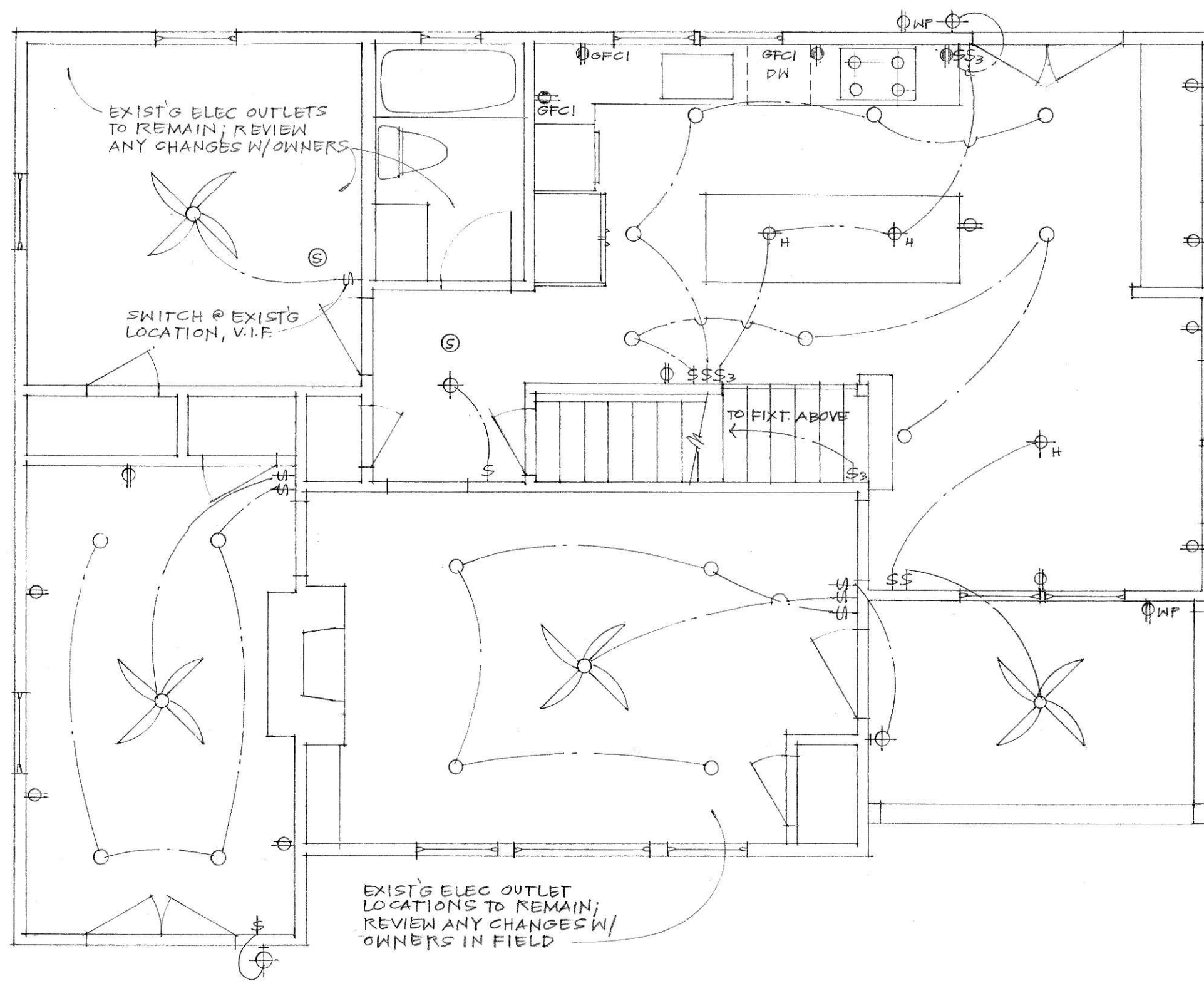
**ELECTRICAL NOTES**

1. All new electrical devices are to be white standard type.
2. All outlets are standard 15A duplex receptacles unless noted otherwise. Provide GFCI protection as indicated or where additionally required.
3. Contractor to schedule a walk-through with owners prior to sheetrock installation to ensure all devices and fixtures are in correct location. Relocate any device or fixture as required prior to sheetrock installation.
4. All recessed lighting and hanging light fixtures to be controlled by matching dimmer switches rated for specific application.
5. Provide electrical service for all HVAC equipment, water heaters, and other equipment not shown on plans.
6. Electrical devices not shown on plan are to remain unless noted otherwise.



**ELECTRICAL LEGEND**

- RECESSED DOWNLIGHT
- RECESSED DIRECTIONAL DOWNLIGHT
- ⊕ SURFACE MOUNTED LIGHT FIXTURE
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED FLOURESCENT LIGHT
- ⊠ EXHAUST FAN
- ⊗ CEILING FAN
- ⊕ HANGING LIGHT FIXTURE
- ⊕ WALL SWITCH
- ⊕ THREE-WAY WALL SWITCH
- ⊕ DUPLEX ELEC. WALL OUTLET
- ⊕ RECESSED FLOOR MOUNTED OUTLET
- ⊕ TELEPHONE OUTLET
- ⊕ CABLE TV OUTLET
- ⊕ WATERPROOF EXT. ELEC. OUTLET
- Ⓢ SMOKE / CO DETECTOR - HARDWIRED W/ BATTERY BACK UP

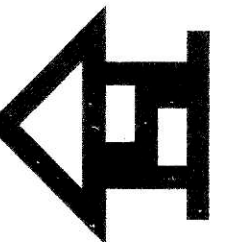


**FIRST FLOOR ELECTRICAL PLAN**  
SCALE: 1/4" = 1'-0"

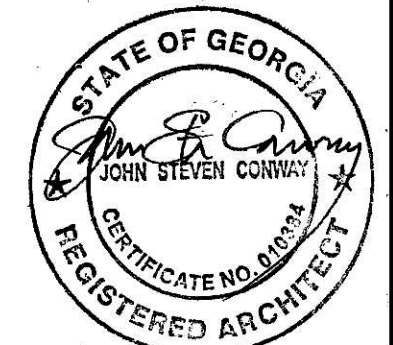
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REVISE LEGEND FOR SMOKE/CO	JSC

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Date	6-24-24
Scale	NOTED
Drawn	JSC
Job	
Sheet	<b>E-1</b>
Of	Sheets

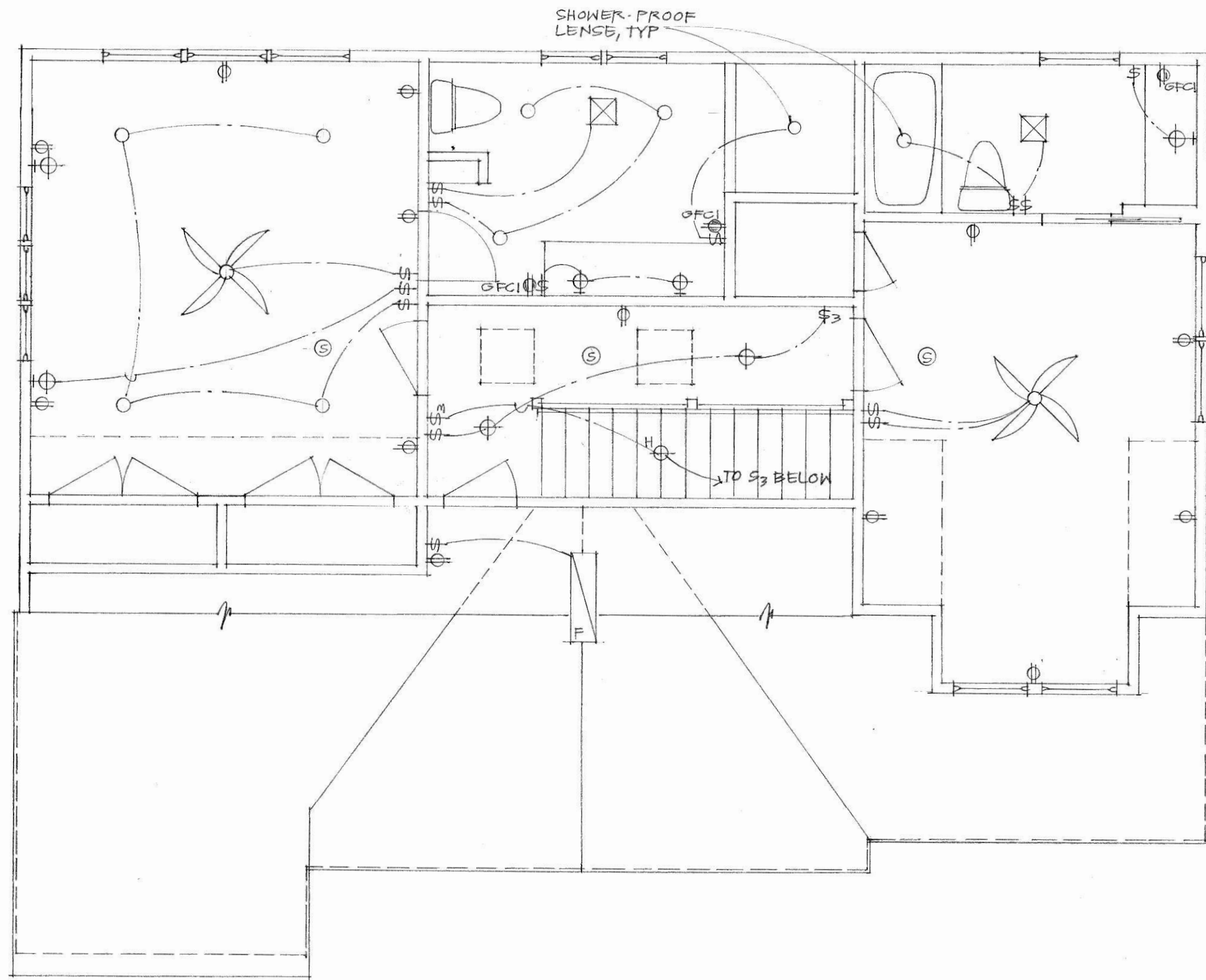


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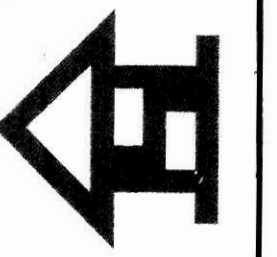
ELECTRICAL LEGEND

- RECESSED DOWNLIGHT
- RECESSED DIRECTIONAL DOWNLIGHT
- ⊕ SURFACE MOUNTED LIGHT FIXTURE
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED FLOURESCENT LIGHT
- ⊠ EXHAUST FAN
- ⊗ CEILING FAN
- ⊕ HANGING LIGHT FIXTURE
- ⊕ WALL SWITCH
- ⊕ THREE-WAY WALL SWITCH
- ⊕ DUPLEX ELEC. WALL OUTLET
- ⊕ RECESSED FLOOR MOUNTED OUTLET
- ⊕ TELEPHONE OUTLET
- ⊕ CABLE TV OUTLET
- ⊕ WATERPROOF EXT. ELEC. OUTLET

Ⓢ SMOKE / CO DETECTOR - HARDWIRED W/ BATTERY BACK UP.

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REV. LEGEND FOR SMOKE / CO	JSC

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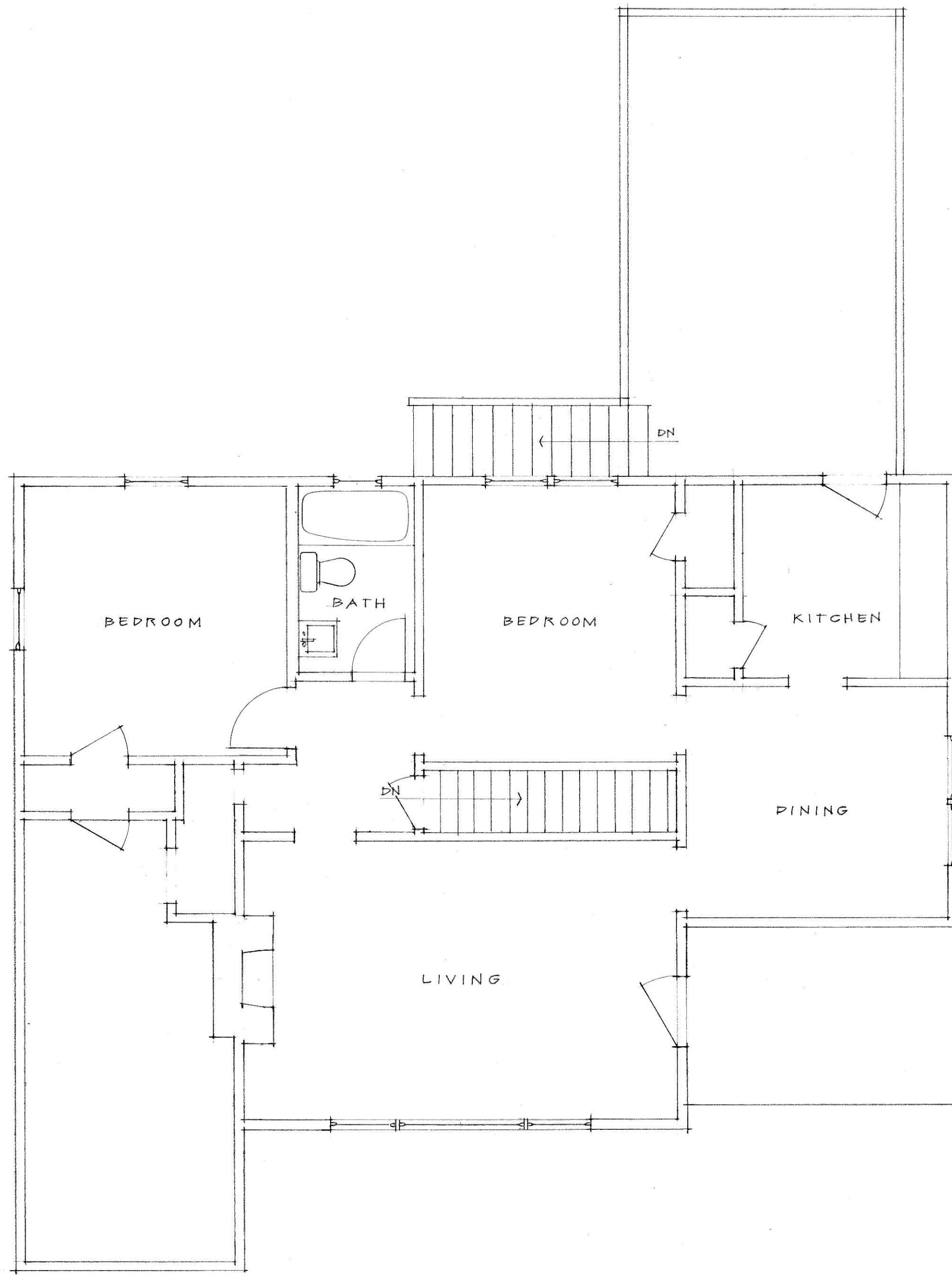
SECOND FLOOR ELECTRICAL PLAN  
SCALE: 1/4" = 1'-0"



Date	6-24-24
Scale	NOTED
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Job	
Sheet	<b>E-2</b>
Of	Sheets

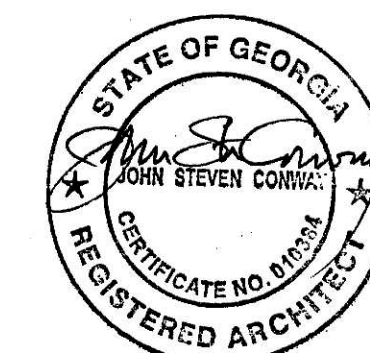


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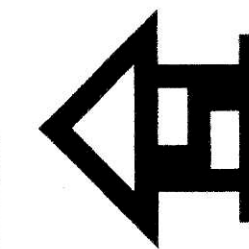
EXIST'G FLOOR PLAN  
SCALE: 1/4" = 1'-0"

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PROPOSED RENOVATIONS FOR

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**EXIST'G REAR ELEVATION**  
SCALE: 1/4" = 1'-0"

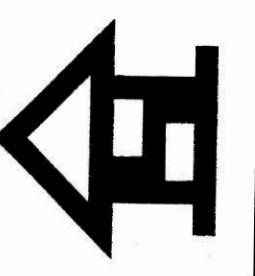


**EXIST'G FRONTELEVATION**  
SCALE: 1/4" = 1'-0"

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EXIST'G LEFT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"



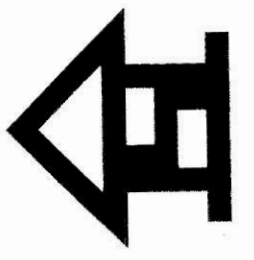
EXIST'G RIGHT SIDE ELEVATION  
SCALE: 1/4" = 1'-0"

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PROPOSED RENOVATIONS FOR

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Job

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**EX-3**  
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**FRAMING / FOUNDATION KEY**

**RAFTERS:**

- RX Existing 2x6 Rafters to Remain
- R1 2x8 @ 16" #2 SPF
- DR Double Rafter

**RIDGE BOARDS:**

- RBX Existing Ridge Board to Remain
- RB1 (1) LVL 1 3/4" x 12"  
Splice new ridge beam only at interior supports

**VALLEYS:**

- VX Existing Valley to Remain

**CEILING JOISTS:**

- CJX Existing 2x6 Ceiling Joists to Remain
- CJ0 2x6 @ 16" #2 SPF
- CJ1 2x8 @ 16" #2 SPF
- CJ2 2x8 @ 12" #2 SPF

**CEILING BEAMS:**

- CB1 (1) 2x8 #2 SPF
- CB2 (2) 2x10 #2 SYP

**HEADERS:**

- H1 (2) 2x8 #2 SPF with 1 Jack / 1 King each end (indicated 1J / 1K)
- H1A Same as H1 1J / 2K each end
- H2 (2) 2x10 #2 SYP with 1J / 2K each end
- H2A Same as H2 2J / 1K each end
- H2B Same as H2 2J / 2K each end
- H3 (2) LVL 1 3/4" x 9 1/2" 2J / 2K each end

**FLOOR JOISTS:**

- JX 2x8 @ 16" Existing 1st Floor Joists to Remain
- J1 Add 2x10 @ 16" #2 SYP at 2nd Floor
- DJ Double Joist

**FLOOR BEAMS:**

- BX 4x10 Existing 1st Floor Beam to Remain
- B1 (2) 2x10 #2 SYP
- B2 (2) LVL 1 3/4" x 9 1/4" Flush Beam
- B3 (2) LVL 1 3/4" x 9 1/2" Flush or Dropped Beam - see Architectural
- B4 (2) LVL 1 3/4" x 12"

**POSTS:**

- P1 6x6 #2 SYP (PT at Basement / Crawl and Exterior Posts)  
One (1) Simpson H2.5 or H2.5T framing clip to beams at top (and bottom at main floor)  
Simpson ABU66 post base to foundation

**FOOTINGS:**

- F1 Spread Footing for new Basement Post  
24"x 24"x 10" thick with 3 #4 each way bottom reinforcing bars
- F2 Grade Beam Footing at New Edge of Slab  
20"W x 12" min. below grade  
Reinforce with 2 #4 continuous top and bottom bars  
See also Note 8 for dowels to existing

**STRUCTURAL NOTES:**

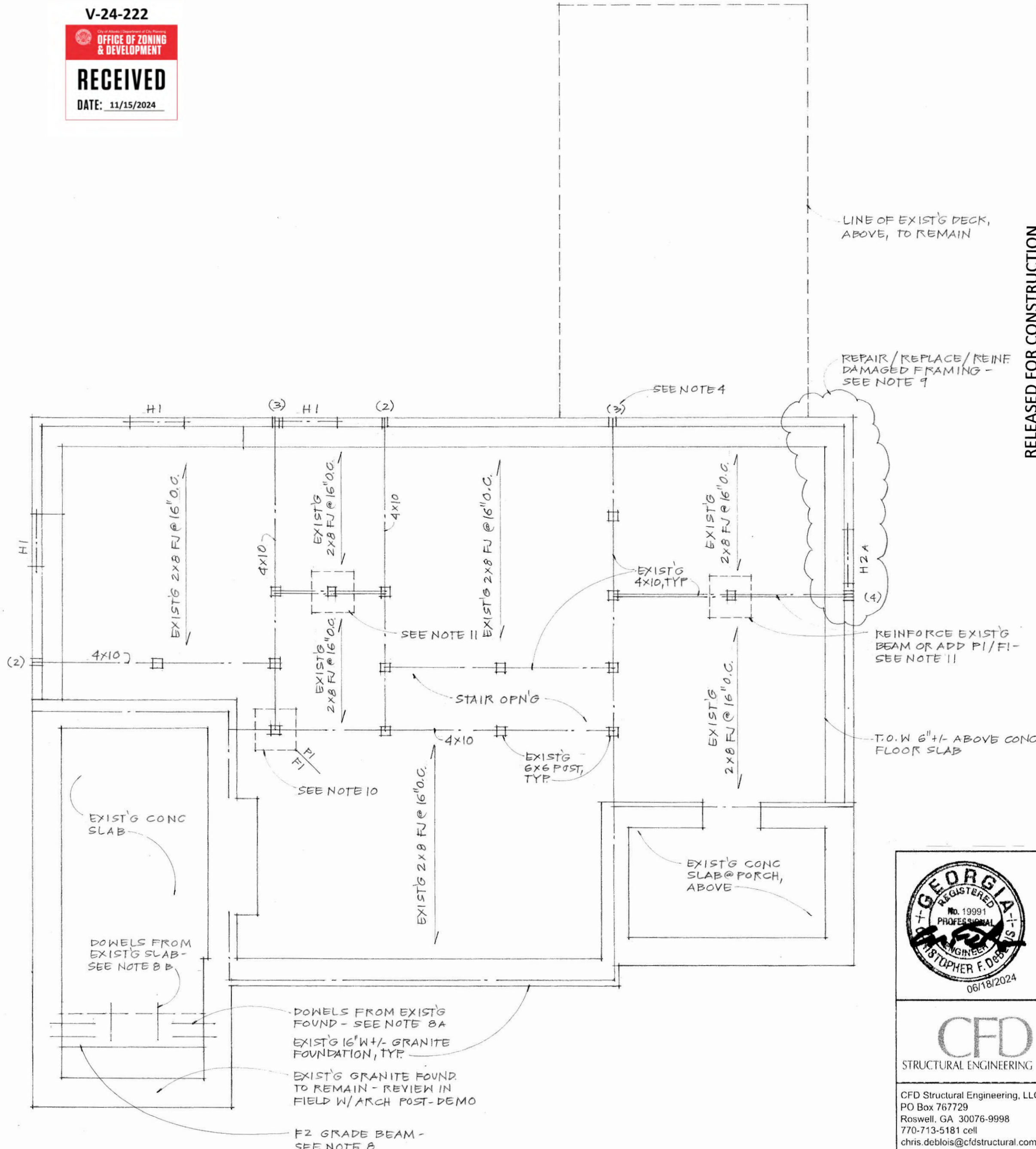
1. All construction including structural components not shown on structural plans must comply with the provisions of the 2018 International Residential Code (IRC) with 2020 and 2022 Georgia amendments.
2. Verify all existing conditions in field, including configuration and condition of existing first floor framing and foundations to remain. Notify Architect / Structural Engineer of any questionable or unexpected conditions for revisions to design as needed.
3. Design of new footings is based on an allowable soil bearing stress of 2000 psf. Contractor must verify soil capacity and notify structural engineer for redesign if soil capacity is less than 2000 psf.
4. (3) indicates number of studs to support concentrated load (3 studs in example)
5. 2J / 1K indicates number of jack / king studs to support end of header (2 jacks, 1 king in exam)
6. HHUS410 Indicates face mount hanger for beam support. Provide beam hangers sizes as shown. Where hangers are not specifically shown, provide manufacturer's standard recommended hanger size.
7. SW1 Typical structural sheathing at all new and modified exterior walls:  
1/2" APA Rated sheathing, exposure 1 with 8d nails 6" on center at panel edges and 12" on center at intermediate supports. Provide solid blocking between studs behind all horizontal joints in sheathing and fasten both panels to blocking with 8d nails 6" on center.
8. Cut back existing foundation and add new grade beam footing type F2  
a. Provide 4 #4 dowels (2 top and bottom) from existing foundation to new grade beam. Epoxy 6" into existing and lap 24" minimum with new reinforcing  
b. Provide 2 #4 x 2'-0" dowels from existing slab to new grade beam. Epoxy 6" into existing slab.
9. Contractor review condition of all existing wall and floor framing at right rear corner of basement. Replace or reinforce all termite damaged and/or rotted framing as needed. Provide Pressure Treated (PT) material for all new framing and sheathing in this area.
10. Add new P1 post on F1 footing at unsupported intersection of existing beams.
11. Reinforce existing 1st floor beam OR add new mid-span support:  
a. Add one (1) LVL 1 3/4" x 9 1/4" full length to front or rear face of existing beam, OR  
b. Add new P1 post on F1 footing at mid-span of existing beam.
12. Align new ceiling joists with new rafters and fasten with four (4) 16d nails each joist. Do not attach new ceiling joists to existing rafters.
13. At each side of (two) skylight openings, locate rafters to receive new ceiling joists and fasten joists to new rafters with four (4) 16d nails. Add blocking as needed for final rough opening in roof and ceiling.  
Remove existing ridge board to allow splicing / overlap for new rafters.
14. Extend new rafters to 2nd floor bearing walls. Do not stop rafters short of bearing walls.
15. Provide (3) 2x6 "I" brace to stud pack below, two (2) locations as noted.
16. Install new ridge beam continuous where possible, splice ONLY at intermediate braces if necessary.
17. Exact position of new CB2 to be determined in field. Locate to support existing upper and lower rafters with bottom of beam flush with bottom of new (raised) ceiling over Studio.
18. Minimum design properties for LVL beams:  
a. Allowable Bending Stress Fb = 2850 psi  
b. Modulus of Elasticity E = 2000 ksi

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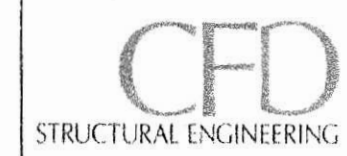
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**FOUNDATION / FIRST FLOOR FRAMING PLAN**

SCALE:

1/4" = 1'-0"



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Renovations and Additions to the Luna Residence  
1776 Marlbrook Drive, NE  
Atlanta, Georgia 30307  
Project # 24034

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**S-1**

Of Sheets



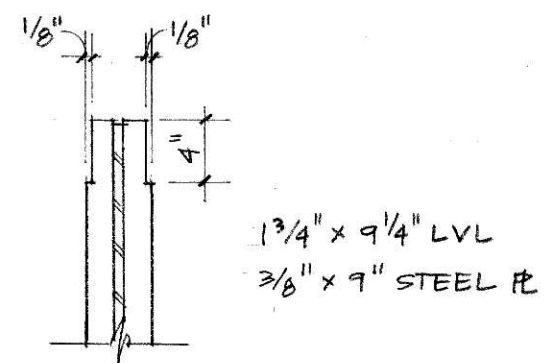
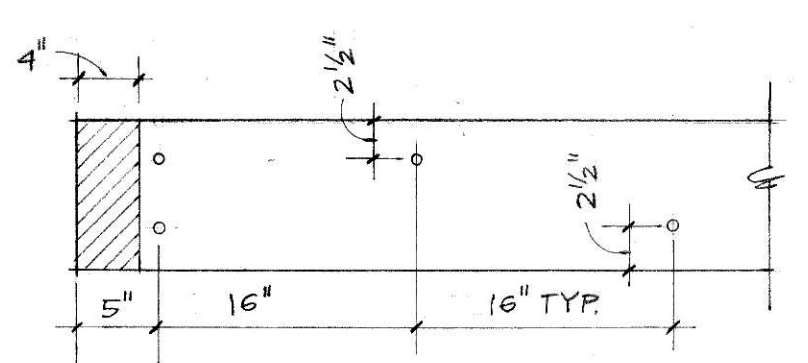
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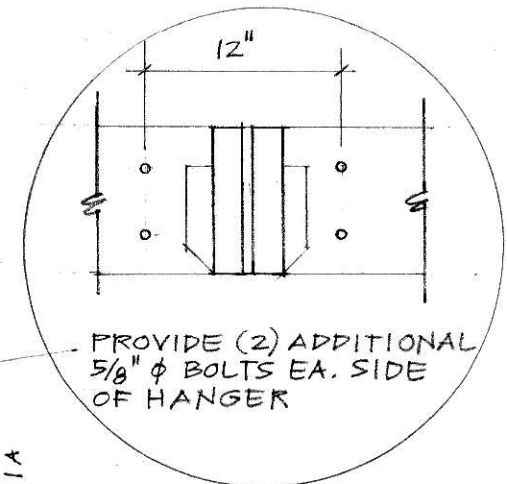
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Job  
Sheet **S-2**  
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B4 ALTERNATE: (2) 1 3/4" x 9 1/4" LVL + STEEL PL 3/8" x 9"  
BOLT FLITCH BEAMS W/ 5/8" φ THROUGH BOLTS  
(2) EA. END + 16" O.C. STAGGERED TOP & BOT.



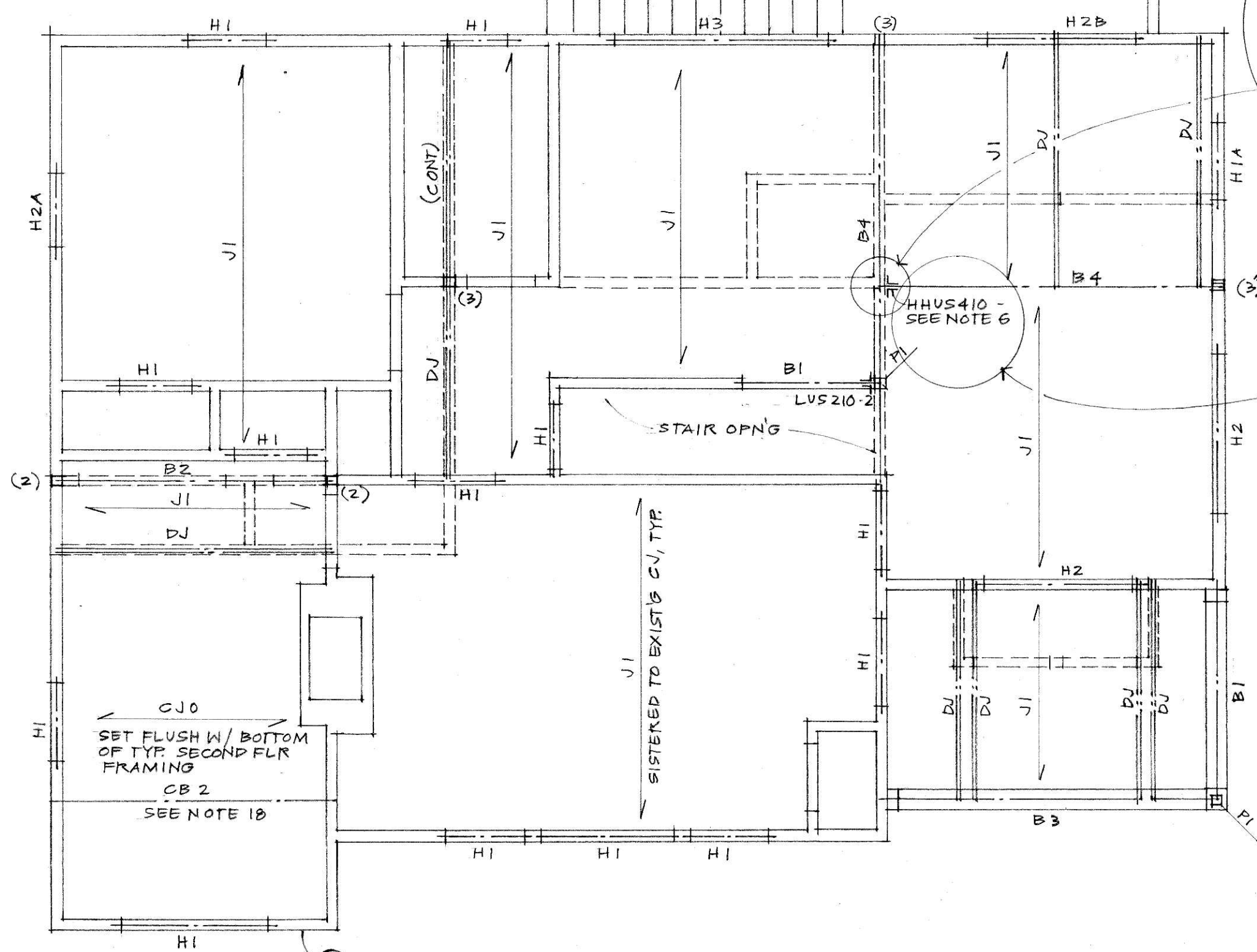
PLAN VIEW @ B4 ALT.  
SCALE: 1" = 1'-0"

EXIST'G DECK, BELOW,  
TO REMAIN



PROVIDE (2) ADDITIONAL  
5/8" φ BOLTS EA. SIDE  
OF HANGER

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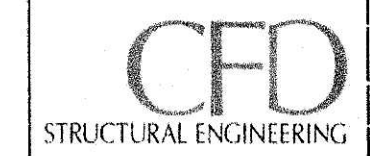
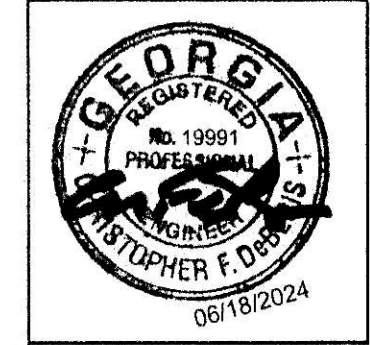
SEE NOTE 4

B4 ALT BEAM ASSEMBLY IS 3 7/8" ±, HANGER SEAT IS 3 5/8" WIDE. TRIM END OF BEAM 1/8" EA. FACE x 4" LONG (SEE DETAIL THIS SHT.)

SET FLUSH W/ BOTTOM OF TYP. SECOND FLR FRAMING  
CB 2  
SEE NOTE 18

SW1  
TYPICAL - SEE NOTE 7

SECOND FLOOR FRAMING PLAN  
SCALE: 1/4" = 1'-0"



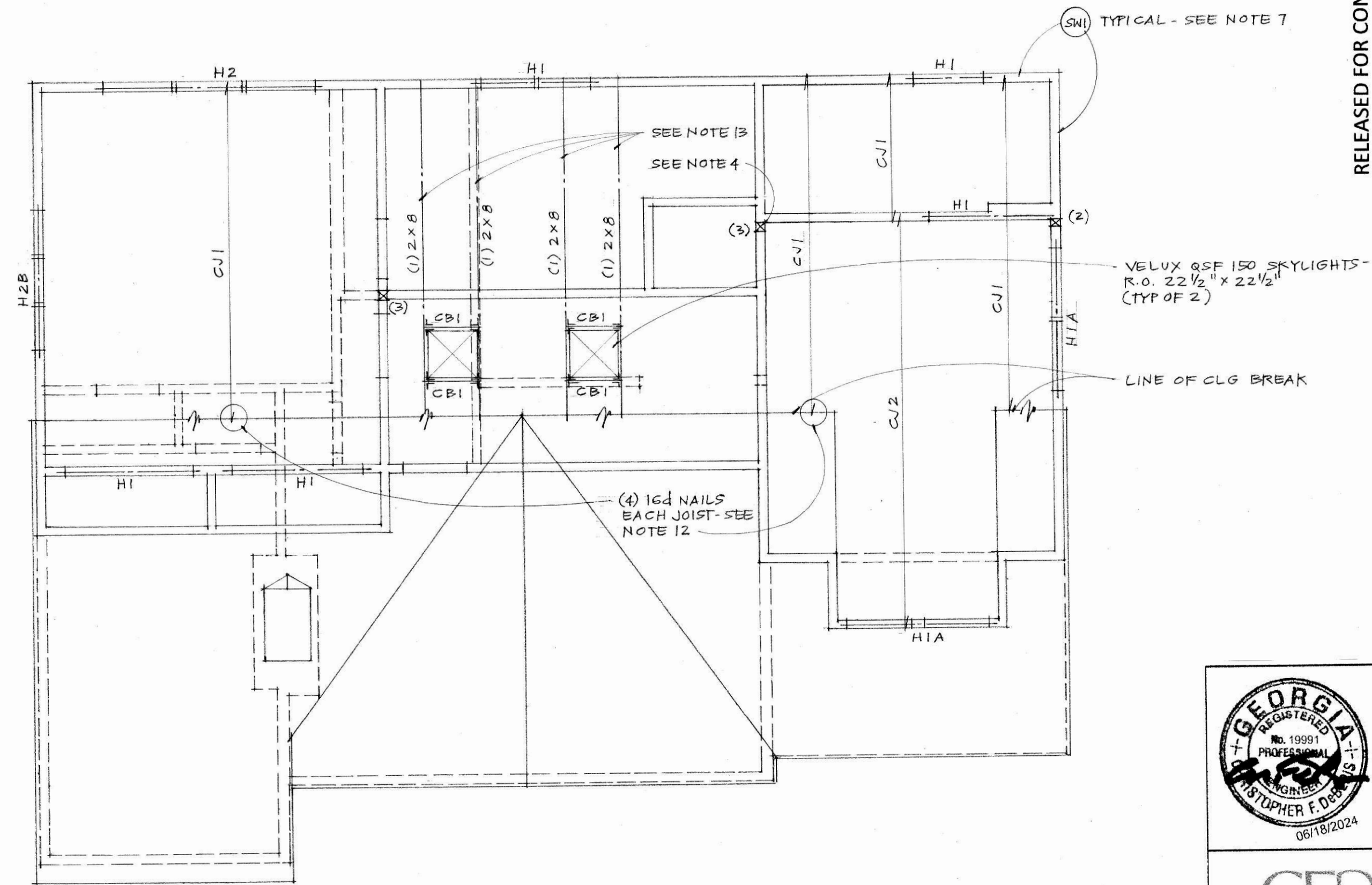
CFD Structural Engineering, LLC  
PO Box 767729  
Roswell, GA 30076-9998  
770-713-5181 cell  
chris.deblois@cfstructural.com

Renovations and Additions to the Luna Residence  
1776 Marlbrook Drive, NE  
Atlanta, Georgia 30307  
Project # 24034

USE OF THIS DRAWING:  
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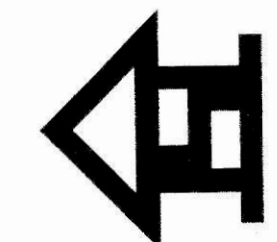


V-24-222  
 OFFICE OF ZONING & DEVELOPMENT  
**RECEIVED**  
 DATE: 11/15/2024



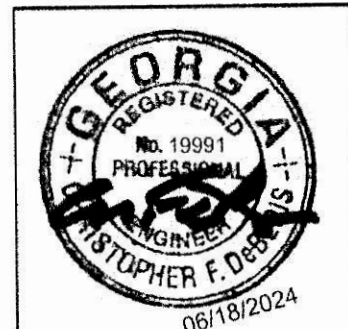
RELEASED FOR CONSTRUCTION

JOHN STEVEN CONWAY  
 ARCHITECT  
 404 378 5787  
 JSCONWAY@AOL.COM  
 307 GLENN CIRCLE  
 DECATUR, GA 30030



PROPOSED RENOVATIONS FOR

Joe Warras and Jessica Luna  
 1776 Marlbrook Drive, Atlanta, GA 30307



**CFD**  
 STRUCTURAL ENGINEERING

CFD Structural Engineering, LLC  
 PO Box 767729  
 Roswell, GA 30076-9998  
 770-713-5181 cell  
 chris.deblois@cfstructural.com

Renovations and Additions to the  
 Luna Residence  
 1776 Marlbrook Drive, NE  
 Atlanta, Georgia 30307  
 Project # 24034

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Sealed for Structural Information Only

CEILING JOIST FRAMING PLAN  
 SCALE: 1/4" = 1'-0"

Date 6-24-24

Scale NOTED

Drawn JSC/CFD

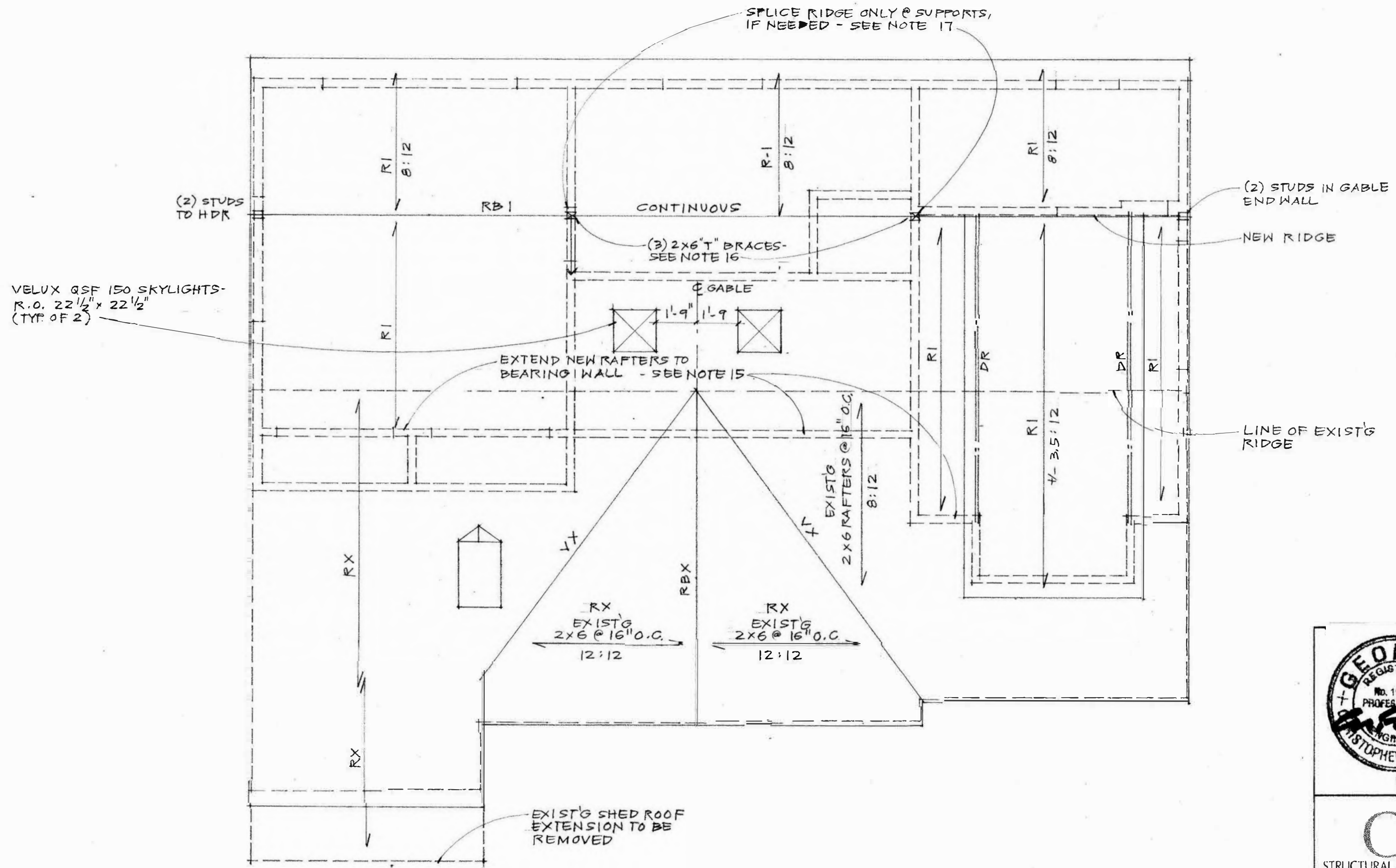
Job

Sheet

**S-3**  
 Sheets



V-24-222



**ROOF FRAMING PLAN**  
 SCALE: 1/4" = 1'-0"

RELEASED FOR CONSTRUCTION



**JOHN STEVEN CONWAY**  
 ARCHITECT  
 404 378 5787  
 JSCONWAY@AOL.COM  
 307 GLENN CIRCLE  
 DECATUR, GA 30030

PROPOSED RENOVATIONS FOR  
**Joe Warras and Jessica Luna**  
 1776 Marlbrook Drive, Atlanta, GA 30307



CFD Structural Engineering, LLC  
 PO Box 767729  
 Roswell, GA 30076-9998  
 770-713-5181 cell  
 chris.debois@cfstructural.com

Renovations and Additions to the  
 Luna Residence  
 1776 Marlbrook Drive, NE  
 Atlanta, Georgia 30307  
 Project # 24034

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Date 6-24-24

Scale NOTED

Drawn JSC/CFD

Job

Sheet

**S-4**

Of Sheets



V-24-222

OFFICE OF ZONING  
& DEVELOPMENT

**RECEIVED**

DATE: 11/15/2024





V-24-222

OFFICE OF ZONING  
& DEVELOPMENT

**RECEIVED**

DATE: 11/15/2024





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OFFICE OF ZONING  
& DEVELOPMENT  
**RECEIVED**  
DATE: 11/15/2024





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& DEVELOPMENT

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DATE: 11/15/2024





V-24-222

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**RECEIVED**

DATE: 11/15/2024





V-24-222



OFFICE OF ZONING  
& DEVELOPMENT

**RECEIVED**

DATE: 11/15/2024







1776 Marlbrook Drive

1780 Marlbrook Drive





1770 Marlbrook Drive

1776 Marlbrook Drive





Second view of 1770 Marlbrook and 1776 Marlbrook Drive





SW Corner of Marlbrook & Leonardo (480 Leonardo )





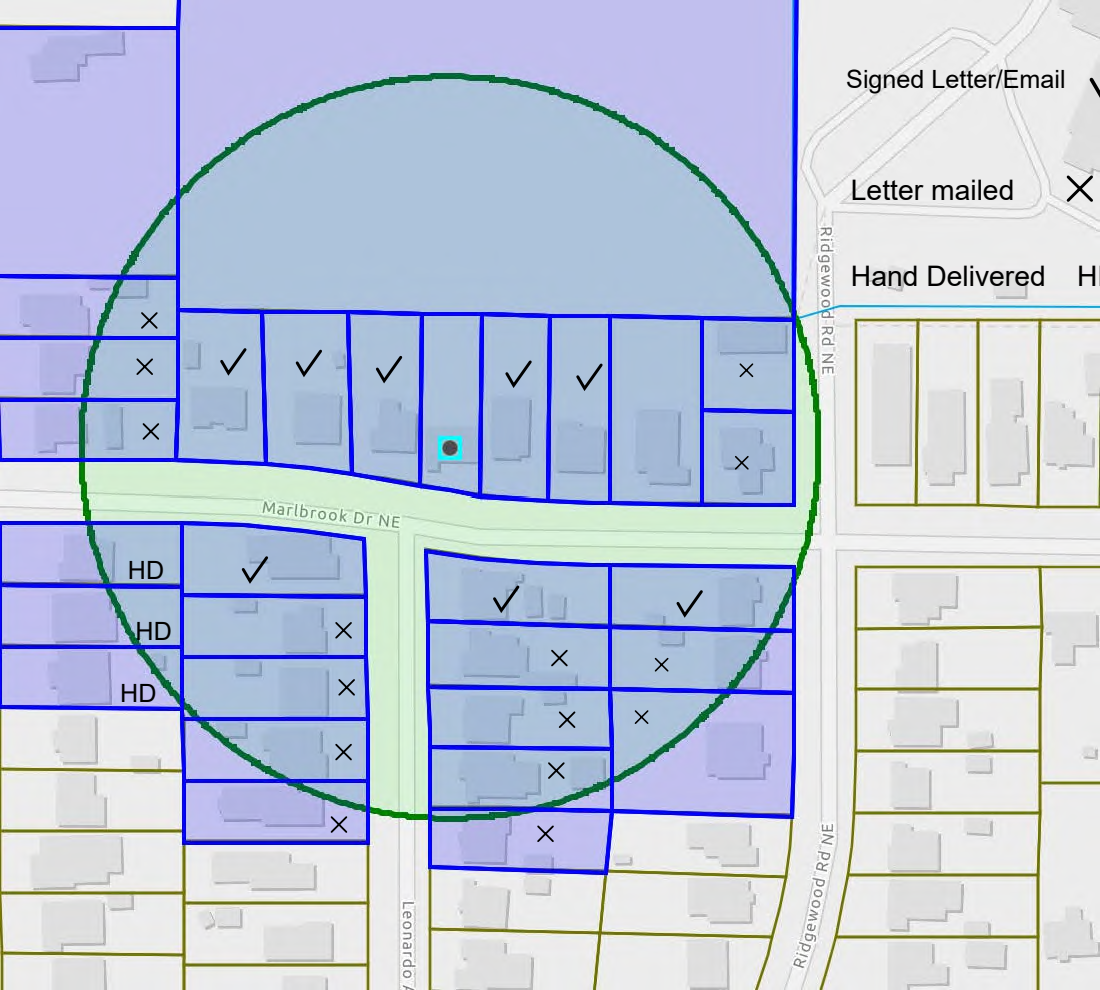
SE corner of Marlbrook & Leonardo (477 Leonardo)



Signed Letter/Email

Letter mailed

Hand Delivered

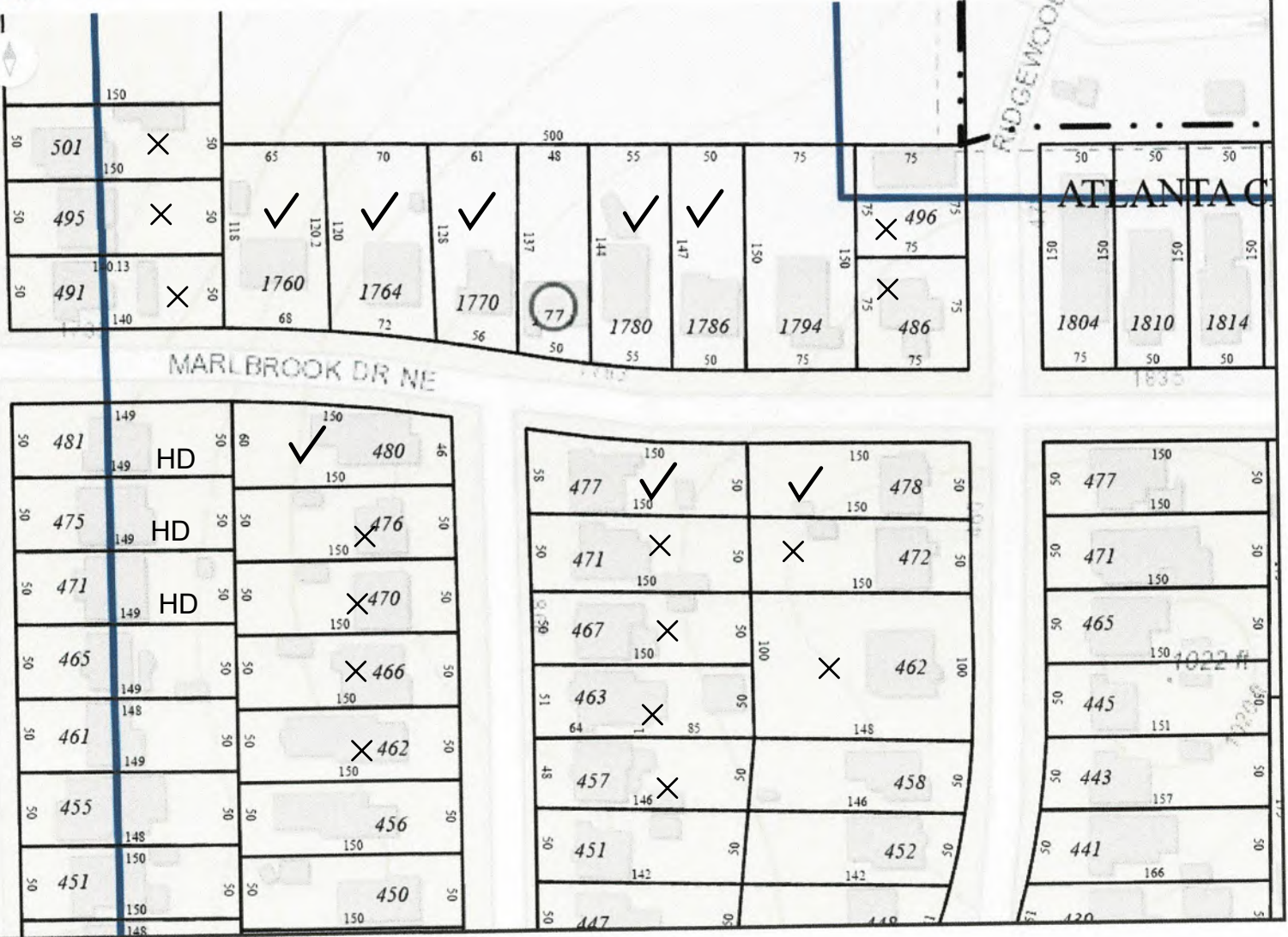






# Lot Dimensions Viewer

HAF

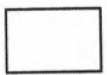


- Signed Letter/Email ✓
- Letter mailed ✕
- Hand Delivered HD

Atlanta City Limits

CadastralLots

Land Lot Index



GIS.SoftLines\_PRD

GIS.CityLots\_PRD





Joe Warras & Jessica Luna  
1776 Marlbrook Drive NE  
770-490-2526  
joseph.warras@gmail.com

November 22, 2024

Re: Proposed second story addition 1776 Marlbrook Drive and allow existing parking pad to remain

Dear Neighbor,

We are proposing to add a second story addition to our home at 1776 Marlbrook Drive and keep the existing parking pad in the front yard because it is the only off street parking we have. The second story will not exceed the permitted height or exceed the existing footprint of our home.

These plans require a variance for the second story & a special exception because the second story addition will encroach into the required 35-foot front yard setback but no more than the existing condition; a parking pad is existing in the front yard setback and requires a special exception to allow it to remain. This is our only off street parking and we want to retain it.

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Should you have any questions about this project, please feel free to contact us at the contact information listed above or Nina Gentry an Urban Planner who is handling the process with the City on our behalf. Nina can be reached at 404-218-5730 or [gps2015@comcast.net](mailto:gps2015@comcast.net).

Sincerely,

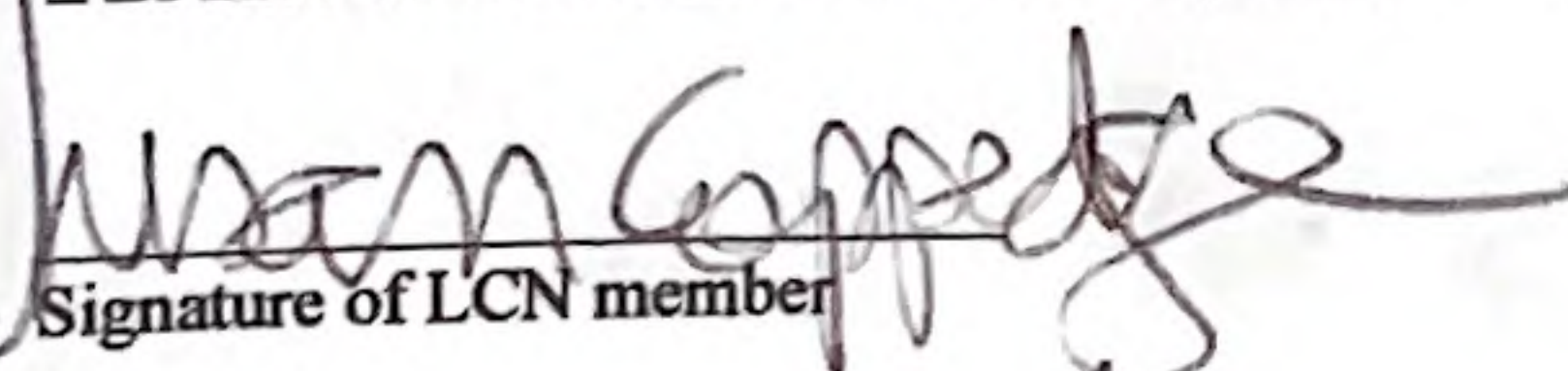
Joe Warras & Jessica Luna

**Acknowledgement of Notification:**

I have been made aware of variance request <V-24-222> and given the opportunity to comment on the proposal.

I have questions

I have been informed but have no opinion

  
Signature of LCN member

Swan Coppedge  
Printed Name of LCN member

1780 Marlbrook Dr. NE  
Address of LCN member



Joe Warras & Jessica Luna  
1776 Marlbrook Drive NE  
770-490-2526  
joseph.warras@gmail.com

November 22, 2024

Re: Proposed second story addition 1776 Marlbrook Drive and allow existing parking pad to remain

Dear Neighbor,

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Sincerely,

Joe Warras & Jessica Luna

**Acknowledgement of Notification:**

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 I have questions  
 I have been informed but have no opinion

Signature of LCN member

Printed Name of LCN member

Address of LCN member

*Patricia Del Rey*  
PATRICIA DEL REY  
477 Leonardo Ave NE  
AHL 30307



Joe Warras & Jessica Luna  
1776 Marlbrook Drive NE  
770-490-2526  
joseph.warras@gmail.com

November 22, 2024

Re: Proposed second story addition 1776 Marlbrook Drive and allow existing parking pad to remain

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Sincerely,

Joe Warras & Jessica Luna

**Acknowledgement of Notification:**

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I have questions

I have been informed but have no opinion



Signature of LCN member

DANIEL E GELLER

Printed Name of LCN member

1770 MARLBROOK DR NE

Address of LCN member

ATLANTA 30307



Joe Warras & Jessica Luna  
1776 Marlbrook Drive NE  
770-490-2526  
joseph.warras@gmail.com

November 22, 2024

Re: Proposed second story addition 1776 Marlbrook Drive and allow existing parking pad to remain

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Sincerely,

Joe Warras & Jessica Luna

**Acknowledgement of Notification:**

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 I have questions  
 I have been informed but have no opinion

  
Signature of LCN member

Debra Livingston  
Printed Name of LCN member

1764 Marlbrook Dr NE  
Address of LCN member



Joe Warras & Jessica Luna  
1776 Marlbrook Drive NE  
770-490-2526  
joseph.warras@gmail.com

November 22, 2024

Re: Proposed second story addition 1776 Marlbrook Drive and allow existing parking pad to remain

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Sincerely,

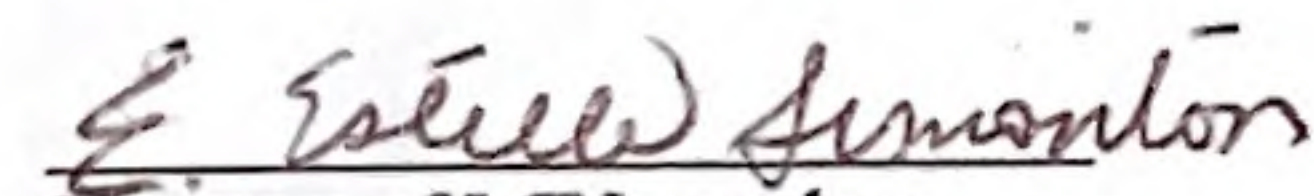
Joe Warras & Jessica Luna

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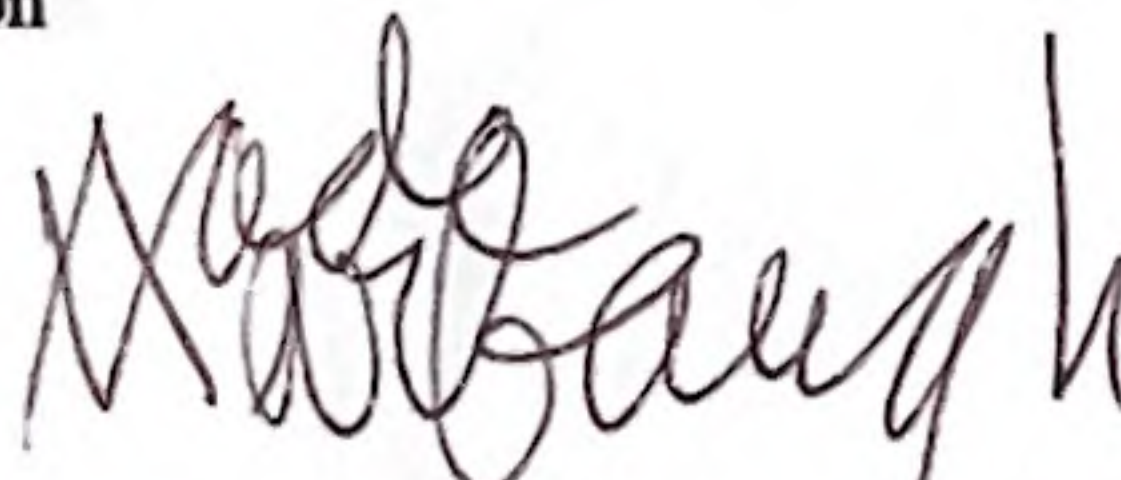
I have questions

I have been informed but have no opinion

  
Signature of LCN member

E. Estelle Simonton  
Printed Name of LCN member

1786 Marlbrook Dr., AH 30307  
Address of LCN member

  
Wade Marbaugh



Joe Warras & Jessica Luna  
1776 Marlbrook Drive NE  
770-490-2526  
joseph.warras@gmail.com

November 22, 2024

Re: Proposed second story addition 1776 Marlbrook Drive and allow existing parking pad to remain

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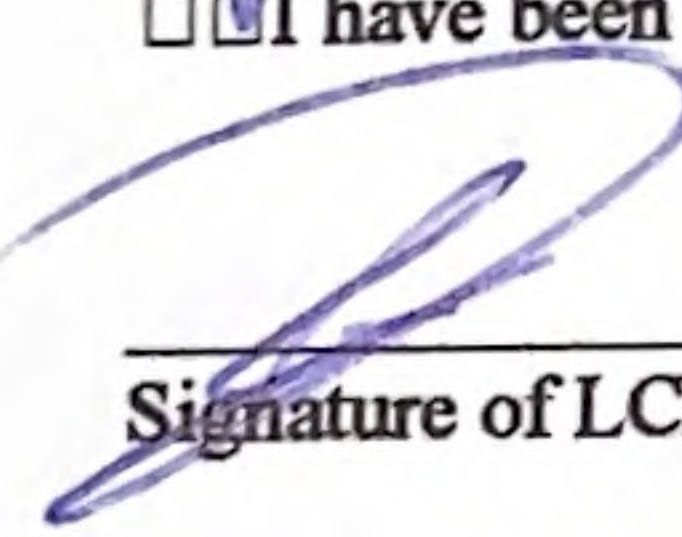
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Sincerely,

Joe Warras & Jessica Luna

**Acknowledgement of Notification:**

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 I have questions  
 I have been informed but have no opinion

  
\_\_\_\_\_  
Signature of LCN member

JAKE CRANEY  
\_\_\_\_\_  
Printed Name of LCN member

480 LEONARDO AVE NE  
\_\_\_\_\_  
Address of LCN member



**gps2015@comcast.net**

---

**From:** Sara Dangel <sedangel@comcast.net>  
**Sent:** Tuesday, November 26, 2024 1:30 PM  
**To:** gps2015@comcast.net  
**Subject:** In support of 1776 Marlbrook

Hello,

Thank you for sending along the information about 1776 Marlbrook Drive. We are in support of the project and welcome Joe and Jessica to the neighborhood.

Sara and Paul Dangel  
478 Ridgewood Road

Sent from my iPhone



Joe Warras & Jessica Luna  
1776 Marlbrook Drive NE  
770-490-2526  
joseph.warras@gmail.com

November 22, 2024

Re: Proposed second story addition 1776 Marlbrook Drive and allow existing parking pad to remain

Dear Neighbor,

We are proposing to add a second story addition to our home at 1776 Marlbrook Drive and keep the existing parking pad in the front yard because it is the only off street parking we have. The second story will not exceed the permitted height or exceed the existing footprint of our home. Included with this letter is the Referral Certificate, Property Survey, Justification and Elevations for your review.

These plans require a variance for the second story because the second story addition will encroach into the required 35-foot front yard setback but no more than the existing condition. the parking pad is existing in the front yard setback and requires a special exception to allow it to remain. This is our only off street parking and we want to retain it.

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After the LCN meeting, these plans will be presented at the Neighborhood Planning Unit – N (NPU-N) meeting on Thursday, December 19, 2024, at 7pm, via Zoom. If you wish to attend the NPU meeting go to <https://www.atlantaga.gov/government/departments/city-planning/office-of-zoning-development/neighborhood-planning-unit-npu/npu-schedule> find NPU-N on the list and CLICK to preregister.

The application will be heard by the Board of Zoning Adjustment, January 16, 2025 at 12N in City Council Chambers at 55 Trinity Avenue SW.

Should you have any questions about this project, please feel free to contact us at the contact information listed above or Nina Gentry an Urban Planner who is handling the process with the City on our behalf. Nina can be reached at 404-218-5730 or [gps2015@comcast.net](mailto:gps2015@comcast.net). If you support our project or have no issues an email to Nina would be greatly appreciated.

Sincerely,

*Joe Warras & Jessica Luna*

Joe Warras & Jessica Luna



Joe Warras & Jessica Luna  
1776 Marlbrook Drive NE  
770-490-2526  
joseph.warras@gmail.com

November 22, 2024

Re: Proposed second story addition 1776 Marlbrook Drive and allow existing parking pad to remain

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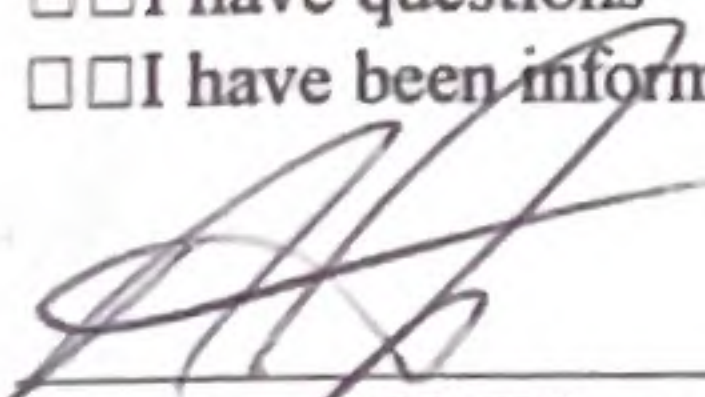
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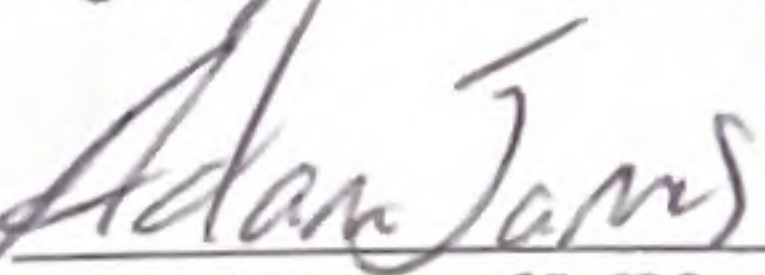
Sincerely,

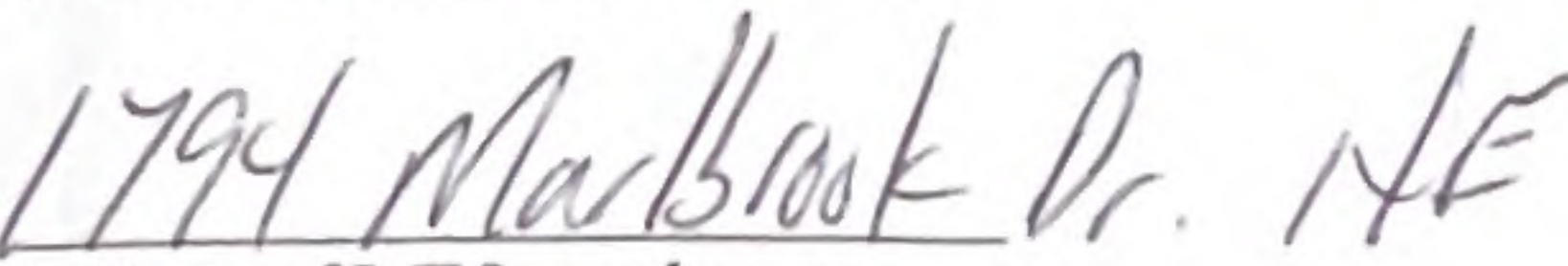
Joe Warras & Jessica Luna

**Acknowledgement of Notification:**

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 I have questions  
 I have been informed but have no opinion

  
Signature of LCN member

  
Printed Name of LCN member

  
Address of LCN member





**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From: Nina Gentry  
992 Eden Avenue SE  
Atlanta, GA 30316

To: Virginia Rand-Hill  
496 Ridgewood Rd  
Atlanta GA 30307



PS Form 3817, April 2007 PSN 7530-02-000-9065



**Certificate Of Mailing**

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From: Nina Gentry  
992 Eden Avenue SE  
Atlanta, GA 30316

To: Jonathan Zurck  
472 Ridgewood Rd  
Atlanta GA 30307



PS Form 3817, April 2007 PSN 7530-02-000-9065



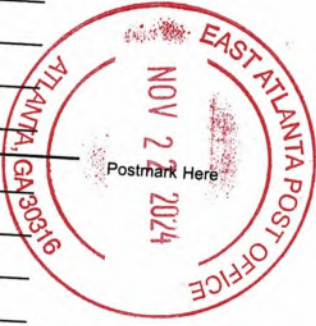
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From: Nina Gentry  
992 Eden Avenue SE  
Atlanta, GA 30316

To: Jaron Moler  
405 Harold Ave  
Atlanta GA 30307



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From: Nina Gentry  
992 Eden Avenue SE  
Atlanta, GA 30316

To: Sarah E Herbert  
486 Ridgewood Rd  
Atlanta GA 30307



PS Form 3817, April 2007 PSN 7530-02-000-9065



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From: Nina Gentry  
992 Eden Avenue SE  
Atlanta, GA 30316

To: Wilson F Gordon III  
404 Harold Ave  
Atlanta GA 30307



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From: Nina Gentry  
992 Eden Avenue SE  
Atlanta, GA 30316

To: Wesley Robertson  
501 Harold Ave  
Atlanta GA 30307



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From: Nina Gentry  
992 Eden Avenue SE  
Atlanta, GA 30316

To: Paul Dangel  
478 Ridgewood Rd  
Atlanta GA 30307



PS Form 3817, April 2007 PSN 7530-02-000-9065



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From: Nina Gentry  
992 Eden Avenue SE  
Atlanta, GA 30316

To: Linda Felker  
457 Leonardo Ave  
Atlanta GA 30307



PS Form 3817, April 2007 PSN 7530-02-000-9065





**Certificate Of Mailing**

To pay fee, affix stamps or meter postage here.

This Certificate of Mailing provides evidence that mail has been presented to USPS® for mailing. This form may be used for domestic and international mail.

From: Nina Gentry  
992 Eden Avenue SE  
Atlanta, GA 30316

To: Thomas Pickney Blakey III  
462 Ridge wood Rd  
Atlanta GA 30307



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From: Nina Gentry  
992 Eden Avenue SE  
Atlanta, GA 30316

To: Caral Gosses  
471 Leonardo Ave  
Atlanta GA 30307



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From: Nina Gentry  
992 Eden Avenue SE  
Atlanta, GA 30316

To: Justin Tyler Moorehead  
463 Leonardo Ave  
Atlanta GA 30307



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From: Nina Gentry  
992 Eden Avenue SE  
Atlanta, GA 30316

To: Josephine N Malibay  
467 Leonardo Ave  
Atlanta GA 30307



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From: Nina Gentry  
992 Eden Avenue SE  
Atlanta, GA 30316

To: Danny R Ludington  
462 Leonardo Ave  
Atlanta GA 30307



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From: Nina Gentry  
992 Eden Avenue SE  
Atlanta, GA 30316

To: Justin T Miller  
470 Leonardo Ave  
Atlanta GA 30307



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**Certificate Of Mailing**

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From: Nina Gentry  
992 Eden Avenue SE  
Atlanta, GA 30316

To: Jason M Bliss  
466 Leonardo Ave  
Atlanta GA 30307



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From: Nina Gentry  
992 Eden Avenue SE  
Atlanta, GA 30316

To: James Boyd Bakes  
476 Leonardo Ave  
Atlanta GA 30307



PS Form 3817, April 2007 PSN 7530-02-000-9065





481 Harold Ave  
Hand Delivered  
12/2/24



GENTRY PLANNING SERVICES, LLC  
992 Eden Avenue SE  
Atlanta GA 30226

VIA HAND DELIVERY  
12/2/24

Anne Carelli  
471 Harold Ave NE  
Atlanta GA 30307

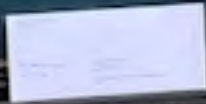
RE: 1776 Marlbrook Dr request for variance/special  
exception

Delivered to Homeowner





475 Harold Ave  
Hand Delivery  
12/2/24





**grashofb@bellsouth.net**

---

**From:** gps2015@comcast.net  
**Sent:** Wednesday, December 4, 2024 9:54 AM  
**To:** grashofb@bellsouth.net  
**Subject:** FW: 1776 Marlbrook Drive

Beth,  
Please see the email below from a neighbor on Harold.

Nina E. Gentry, AICP  
Gentry Planning Services, LLC  
Entitlement-Zoning Analysis & Research  
404-218-5730

Please note Gentry Planning Services will be closed beginning December 20th and reopen January 6, 2025

**CONFIDENTIALITY NOTICE:**

This communication is an electronic communication under the Electronic Communications Privacy Act, 18 U.S.C. 2510, and its disclosure is strictly limited to the recipient intended by the sender of this message. This transmission, and any attachments, may contain confidential and/or privileged information and work product. If you are not the intended recipient, any disclosure, copying, distribution and use of any of the information contained in or attached to this transmission is STRICTLY PROHIBITED. If you have received this transmission and you are not the intended recipient, then please contact us immediately by return e-mail or at 404-218-5730, and destroy the original transmission and its attachments without reading or saving them in any manner.

-----Original Message-----

**From:** Anne Carelli <carellianne@gmail.com>  
**Sent:** Tuesday, December 3, 2024 8:55 PM  
**To:** gps2015@comcast.net  
**Subject:** 1776 Marlbrook Drive

Hi there - thank you for sharing the variance request with me. I have no problems with it!

Anne (471 Harold Avenue)