



OFFICE OF ZONING AND DEVELOPMENT
55 Trinity Avenue S.W., Suite 3350
Atlanta, Georgia 30303
(404) 330-6145

APPLICATION #: **V-25-233**

DATE ACCEPTED: **10/22/2025**

V-25-233



NOTICE TO APPLICANT

Address of Property:

1761 South Ponce De Leon AVE NE

City Council District: **5** Neighborhood Planning Unit (NPU): **N**

Board of Zoning Adjustment (BZA) Hearing Date:

Thursday, December 11, 2025 at 12:00 p.m.

Council Chambers, 2nd Floor, City Hall
55 Trinity Avenue, S.W.

The contact person for NPU N is:

Amy Stout
404-392-3422
npunchair@gmail.com

Contact info for adjacent NPUs is provided below if necessary:

Please click the link below to access the directory designated as the "meeting location."

www.atlantaga.gov/government/departments/city-planning/neighborhood-planning-units/neighborhood-and-npu-contacts

Please contact the person(s) listed above within five days to find out which meetings you will be required to attend before the next NPU meeting. If you are unable to reach the contact person, please call the city's NPU Coordinator at 404-330-6637.

Signed,

Lishoba Brown

LB, for Director, Office of Zoning and
Development

Karen Soorikian

APPLICATION FOR BOARD OF ZONING ADJUSTMENT

Please mark "X" next to the type of application(s) you are submitti'----

Variance	X
Special Exception	
Variance & Special Exception	

V-25-233



Date Filed 10/15/2025 Application Number 404-723-0927
 Name of Applicant Karen Soorikian Daytime Phone 404-723-0927
 Company Name (if applicable) Soorikian Architecture email karen@soorikianarchitecture.com
 Address 659 Auburn Ave. Suite G-8 Atlanta GA 30312
street city state zip code

Name of Property Owner Baker Law Group / Anita Diane Baker Phone 770-992-4325
 Address 555 Sun Valley Dr. Suite N-4 Roswell GA 30076
street city state zip code

Description of Property

Address of Property 1761 South Ponce de Leon, NE Atlanta GA 30307
street city state zip code
 Area: 1.552AC Land Lot: 238&243 District: 15th DeKalb County, GA.
 Property is zoned: R-85 &R-4, Council District: 5, Neighborhood Planning Unit (NPU): N

TO THE BOARD OF ZONING ADJUSTMENT: Applicant, having received a preliminary plan review from the Office of Zoning and Development prior to seeking a building permit or certificate of occupancy, hereby requests that the Board of Zoning Adjustment grant a Variance or Special Exception.

I hereby authorize the staff of the Office of Zoning and Development to inspect the premises of the above-described property. I understand that it is my responsibility to post a public notice sign on the property according to the instructions given to me by the Office of Zoning and Development upon filing this application. I swear that all statements herein and attached hereto are true and correct to the best of my knowledge and belief.

[Signature]
 Owner or Agent for Owner (Applicant)
Baker Law Group/Anita Diane
 Print Name of Owner Baker

Sworn To And Subscribed Before Me this 15 day of October 2025
[Signature]
 NOTARY PUBLIC

 June 22, 2029
 NOTARY PUBLIC
 Page 3 of 13



SUMMARY & JUSTIFICATION FOR VARIANCES

Directions: Complete responses must be provided for ALL questions. Incomplete applications will not be accepted. The space below may be utilized or responses may be submitted as a separate attachment. Specific criteria for Board approval of variances may be found on page 7. **The justification must address the criteria.** Please submit a typewritten or legible justification.

Is the property described in this application subject to a pending application or ordinance for a Rezoning or Special Use Permit? _____YES _____NO. (If yes, the variance/special exception request will be rescheduled to a hearing following the final approval by City Council & the Mayor). Please provide the relevant zoning application number associated with the subject property: _____.

Summary of proposed construction changes to buildings or site (shall not replace submittal of written criteria). (Examples: "Convert a 100' x 200' retail space into a restaurant." "Install a 6-foot high opaque wooden wall ('privacy fence' with 6-foot high opaque wall gates.").

Proposed Lot Coverage (After Construction): Calculate total amount of lot coverage on entire property, after completion of proposed construction, including existing and proposed buildings and other structures; sidewalks, driveways, parking pads, patios, gravel, etc.; everything except natural planted or undisturbed areas.

_____ covered square feet / _____ total lot square feet = _____% proposed lot coverage

_____ % maximum allowed lot coverage

Variance Criteria (see page 6 for detailed criteria):

1) What are the extraordinary and exceptional conditions pertaining to the particular piece of property in question (size, shape or topography)? _____

2) How would the application of the Zoning Ordinance of the City of Atlanta to this particular piece of property create an unnecessary hardship? _____

3) What conditions are peculiar to this particular piece of property? _____

4) Submit facts to show that relief, if granted, would not cause substantial detriment to the public good or impair the purposes and intent of the Zoning Ordinance of the City of Atlanta. _____



AUTHORIZATION BY PROPERTY OWNER

(Required only if the applicant is not the owner of the property subject to the proposed application.)

(Please print clearly. Must be the original document. A copy will not be accepted.)

Anita Diane Baker, as Trustee of the
I, 1761 S Ponce de Leon Trust, dated May 12, 2017 (OWNER'S NAME) SWEAR AND AFFIRM THAT I AM
THE OWNER OF THE PROPERTY AT 1761 S Ponce de Leon Ave NE (PROPERTY
ADDRESS). AS SHOWN IN THE RECORDS OF DeKalb COUNTY, GEORGIA,
WHICH IS THE SUBJECT MATTER OF THE ATTACHED APPLICATION. I AUTHORIZE THE
PERSON NAMED BELOW TO FILE THIS
APPLICATION AS MY AGENT.

NAME OF APPLICANT:

LAST NAME Soorikian FIRST NAME Karen
ADDRESS 659 Auburn Avenue SUITE G-8
CITY Atlanta STATE GA ZIP CODE 30312

OWNER'S TELEPHONE NUMBER: (770) 992-4325

Anita Diane Baker as Trustee
SIGNATURE OF OWNER

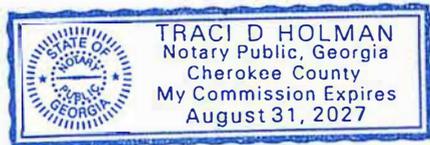
Anita Diane Baker, as Trustee of the
1761 S Ponce de Leon Trust, dated May 12, 2017

PRINT NAME OF OWNER

PERSONALLY APPEARED BEFORE ME THE ABOVE NAMES, WHO SWEARS THAT THE
INFORMATION CONTAINED IN THIS AUTHORIZATION IS TRUE AND CORRECT TO THE BEST OF
MY KNOWLEDGE AND BELIEF.

Traci D Holman
NOTARY PUBLIC

10/9/2025
DATE



S O O R I K I A N A R C H I T E C T U R E

October 15, 2025

City of Atlanta
Department of Planning and Community Development
Bureau of Planning, Current Planning Division
55 Trinity Avenue, Suite 3350
Atlanta, GA 30335

V-25-233



re: 1761 South Ponce de Leon Avenue, NE, Atlanta, GA 30307

Planning Staff:

The property at 1761 South Ponce de Leon Avenue is a 67,607 square foot (1 ½+ acre) atypical parcel of land that is divided into two separate jurisdictions. The front parcel fronting South Ponce is in the Druid Hills Historic District in Unincorporated DeKalb County and is zoned R-85. It is 28,063 square feet and contains a historically significant 1928 brick Tudor style residence. The rear of the parcel is in the City of Atlanta and is zoned R-4. It is 39,544 square feet and currently contains an existing accessory structure and a storage building. We plan to retain the accessory structure, demolish the storage building, and replace it with a pool pavilion with a garage underneath.

Due to the extraordinary and exceptional conditions of this divided lot, we are seeking relief from Sec. 16-28.004 of the Atlanta Zoning Code: **Accessory buildings in R-1 through R-5 districts shall not exceed 20 feet in height, shall not cover more than 25 percent of the area of the rear yard, and shall not contain a total floor area greater than 30 percent of the main structure.**

We therefore request the following variance:

- 1. Increase the allowable area of the accessory structures from 30% to 36% of the principal structure area.**

We offer the following items in support of our variance request:

- Variance Application (with the following justifications)
- GIS map of surrounding properties and zoning jurisdictions
- Proposed Site Development Drawings
- Referral Certificate upon receipt
- Proposed Plans & Elevations

Extraordinary/Exceptional Conditions Pertaining to the Property because of its Size/Shape:

The extraordinary and exceptional condition with this lot in R-4 zoning is that size of the property at 1761 South Ponce is extremely large and the shape of the property is exceptionally long. At 67,607 square feet, it is 750% larger than the minimum lot area of 9,000 square feet (many R-4 lots are smaller than 9,000 sf). It is an irregular angled shape with the street facing part of the parcel (R-85 Unincorporated DeKalb) at an angle from the rear City of Atlanta R-4 part of the parcel. At an average length of 650 feet, the property is 433% longer than the typical and surrounding R-4 lots. The property's size and shape are more reflective of other South Ponce properties zoned 20-B Druid Hills Landmark District, than the typical properties zoned R-4 in the surrounding neighborhood.



The application of the Zoning Ordinance to this property would create an Unnecessary Hardship

At 1761 South Ponce, the strict enforcement of R-4 regulation creates a hardship which is not necessary to further the purpose and intent of the zoning ordinance. The hardship is a lack of accessory structure space on an estate-sized lot similar to adjacent long-existing compatible historic homes and estates that adjoin the property and back up to the Hardendorf and Harold Avenue subdivisions to the rear of those estates. This hardship is not necessary to serve the intent of the zoning ordinance because the intent of the zoning ordinance for R-4 districts, found in Section 16-06.002, is expressly stated as being, “to provide for the protection of existing single-family communities.”

The single-family homes surrounding ours on South Ponce are all large-scale, historically significant (in designated landmark districts), and sit on estate sized lots. Though the lots on South Ponce de Leon land in different jurisdictions with some mixed zoning, the neighborhood community itself is cohesively known to be part of the Druid Hills Historic Residential District. These properties all back up to the smaller scaled single-family communities surrounding Harold Avenue and Hardendorf Avenue in the Lake Claire neighborhood. Therefore, strict enforcement of the regulation from which a variance is sought creates a hardship that is not necessary to meet the intent and purpose of the R-4 zoning district.

Additionally, our proposal is far below the overall development standards set by R-4 zoning to limit density in order to protect single family communities. This is outlined in the following chart:

Zoning Summary for 1761 South Ponce de Leon Avenue, Lot Area: 67,607 sf, Zoning Classification: R4

	EXISTING	PROPOSED	MAXIMUM ALLOWABLE
LOT COVERAGE	12,966 sf; 19% lot area	23,019 sf; 34% lot area	33,804 sf; 50% lot area
FLOOR AREA RATIO	6,920 sf; 10% lot area	9,680 sf; 14% lot area	33,804 sf; 50% lot area
ACCESS. STRUCT. RATIO	2,245/6,920; 32%	3,473/9,680; 36%	10,141/33,804; 30%

A less restrained owner could use a strict application of the R-4 code to build a 33,803.5 square foot home on the lot and then be allowed to build 10,141 square feet of accessory structures for a total of 43,875 square feet of built space. This would readily meet the strict application of the code; however, it would not be in the spirit of the Druid Hills Historic guidelines. Our request will result in a much more modest total of 13,153 square feet of total built space. This total is far below the R-4 allowable 33,750 square feet for the principal structure alone. Our proposal is much more in line with the spirit and intent of the code than an actual strict application of the code. It is also an unnecessary hardship not to factor in the low density of our proposal on the lot or the spirit of the historic district guidelines. Our less than 35% coverage meets the standards required on Druid Hills Historic District Properties (Unincorporated DeKalb and 20-B City of Atlanta.)

Such conditions are peculiar to the particular piece of property involved

As outlined above, this property is peculiar in that it is in a split jurisdiction, and the R-4 zoning is being applied to a 67,607 square foot lot whose principal structure fully resides in R-85 zoning in Unincorporated DeKalb County. I believe it is the only one of its kind. Surrounding properties are historic; two are split jurisdiction with neither principal residence fully in Unincorporated DeKalb and with no record in Accela of ruling City of Atlanta precedents; four are fully in Unincorporated DeKalb County Druid Hills Historic District, and the rest of the homes on the street are zoned 20-B Druid Hills Landmark District in City of Atlanta. (see attached Atlanta GIS zoning map for site context)

The Variance would not cause substantial detriment to the public good or impair the purpose and intent of the Zoning Ordinance of Atlanta



Relief, if granted, is consistent with the spirit of intent of the Atlanta City Council to promote the health, safety, and welfare of the citizens of the City of Atlanta.

It is fully compatible with the spirit of Section 16-06.002:

"To provide for the protection of existing single-family communities and the development of new communities on lots of medium size at a density of not more than one dwelling unit per 9,000 square feet."

The single-family community surrounding 1761 South Ponce de Leon contains two distinct building forms: The South Ponce community as part of the Historic Druid Hills neighborhood, and the community surrounding Harold and Hardendorf Avenues, which appropriately fits the "medium size" density spelled out in Section 16-06.002. Our proposal is consistent with and compatible to the Historic Druid Hills community as well as compatible with the relationship of the estate-sized lots on South Ponce to the Harold and Hardendorf communities of Lake Claire. This therefore protects the surrounding communities, and serves the purpose laid out in Section 16-06.002 for R-4 zoning.

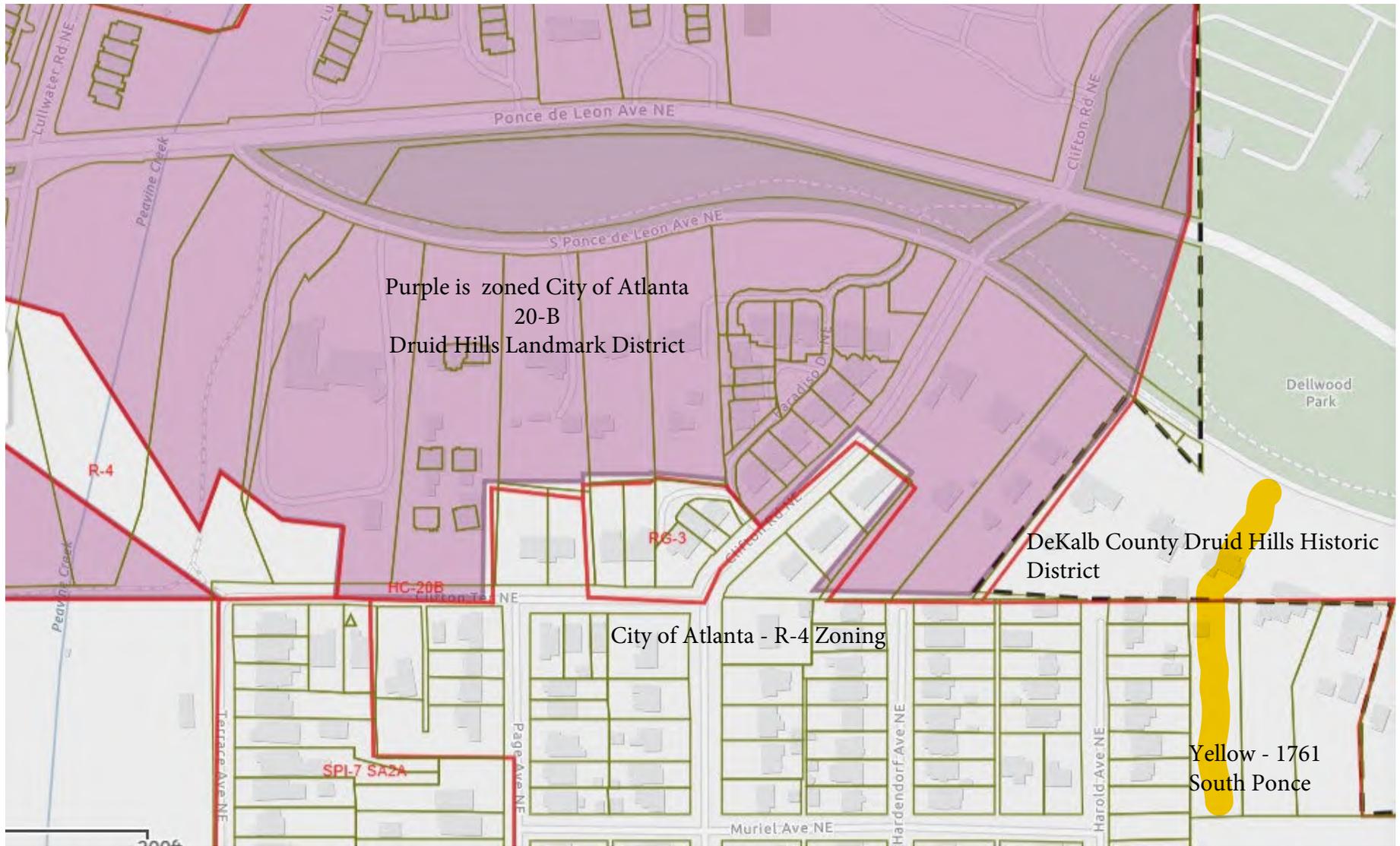
Our proposed pavilion structure is 20'-5" from the east side property line and 35'-10" from the west side property line. From the rear property line that abuts unopened and unimproved Muriel Avenue, our structure is 195'-0". Given that the siting of the proposed structure exceeds the R-4 setbacks by 13'-5", 28'-10", and 180' respectively, the pavilion is far removed from all neighboring properties. This proposal will not cause detriment to the public good and will uphold the purposes and intent of the Zoning Ordinance of Atlanta. In no way will it distract from people's use and enjoyment of adjoining and surrounding properties. Importantly, the proposal is in the spirit of the historic district setting, in harmony with the surrounding architecture and allows for adequate light and air. We believe that the proposal is consistent with the orderly evolution of this neighborhood and will promote desirable living conditions for the homeowner as well as the neighborhood.

Thank you for your consideration in this request.

Sincerely,

Karen Soorikian, AIA
Mark Arnold, Architect, Zoning Consultant

Enclosure:
Atlanta GIS Area zoning map



Purple is zoned City of Atlanta
20-B
Druid Hills Landmark District

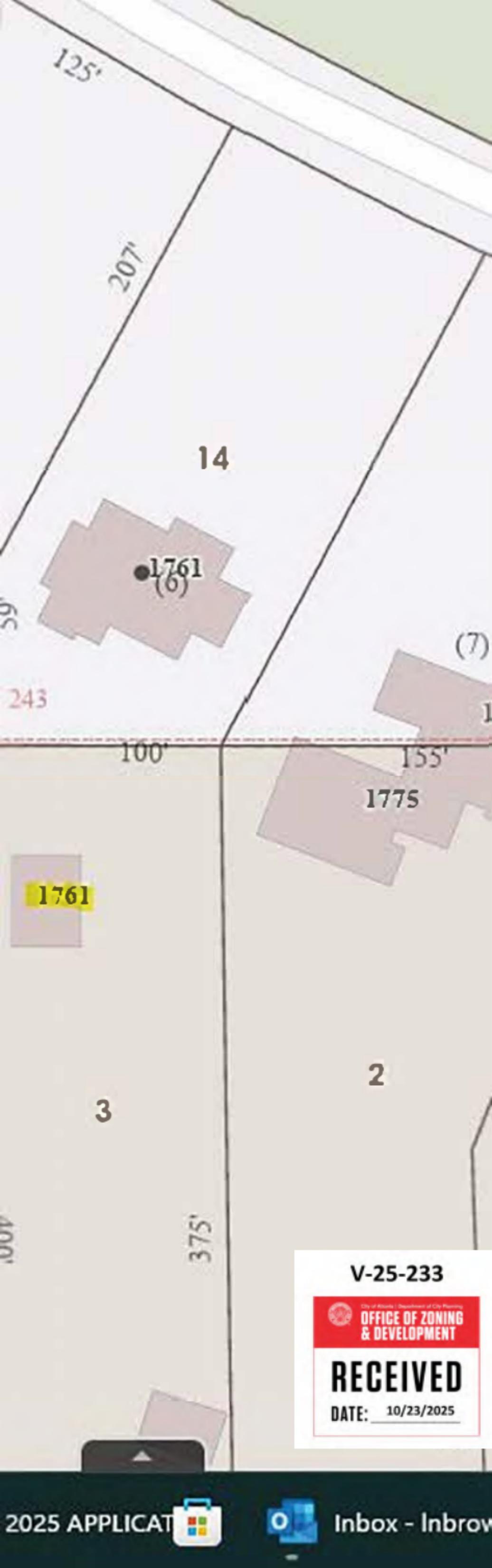
DeKalb County Druid Hills Historic
District

City of Atlanta - R-4 Zoning

Yellow - 1761
South Ponce

V-25-233





V-25-233



RECEIVED

DATE: 10/23/2025



FLOOD NOTE:
 I HAVE THIS DATE, EXAMINED THE "FIA FLOOD HAZARD MAP" AND FOUND IN MY OPINION REFERENCED PARCEL IS NOT IN AN AREA HAVING SPECIAL FLOOD HAZARDS, WITHOUT AN ELEVATION CERTIFICATION SURVEYOR IS NOT RESPONSIBLE FOR ANY DAMAGE DUE TO ITS OPINION FOR SAID PARCEL.
 MAP # 130920044
 EFFECTIVE DATE: 05/18/2013
 ZONE: 2
 THE FLOOD INFORMATION ON THIS PLAN HAS BEEN DETERMINED AFTER REVIEW OF MAPS WHICH ONLY APPROXIMATE THE LOCATION OF THE APPLICABLE FLOOD HAZARD AREA. A SECOND OPINION OR COMPREHENSIVE FLOOD EVALUATION STUDY IS SUGGESTED FOR MORE ACCURATE INFORMATION. FOR FURTHER INFORMATION CONTACT THE LOCAL DRAINAGE DEPARTMENT, CORPS OF ENGINEERS AND INSURANCE COMPANY OR AN APPRAISER.
FUTURE FLOOD DISCLAIMER:
 THE FLOOD DATA SHOWN HEREON IS PER FEMA ACTIVE PANEL MAP WITH EFFECTIVE DATE, AS SHOWN. THERE MAY BE FUTURE FLOOD ELEVATION INFORMATION STUDIED INTERNALLY BY THE LOCAL GOVERNING MUNICIPALITY IN WHICH THE SUBJECT PROPERTY SITUATES AND THAT INFORMATION MAY NOT BE AVAILABLE TO THE PUBLIC, THEREBY NOT REFLECTED ON THE CURRENT FEMA PANEL MAP ON THE DATE OF THIS SURVEY. WE REQUEST ANY AND ALL FUTURE FLOOD INFORMATION FROM THE APPLICABLE MUNICIPALITIES AND SHOW THAT INFORMATION HEREON WHENEVER POSSIBLE. IT IS THE RESPONSIBILITY OF THE END USER OF THIS SURVEY TO VERIFY THE APPLICABLE FLOOD INFORMATION DURING THE DEVELOPMENT PHASE, OR OTHER FUTURE USE, BEYOND THE DATE OF THIS SURVEY.

Curve	Radius	Length	Chord	Chord Bear.
CT	1340.10'	110.00'	109.96'	S 62°59'33" E

VERTICAL DATUM NAVD88

OLD HOUSE FFE
 MAIN 983.23

FRONT AVERAGE SETBACK CALCULATIONS (DEKALB UNINCORPORATED)
 #1751 - 144.1'
 #1775 - 154.2'
 #1761 = (144.1+154.2)/2 = 149.15'
 FRONT AVERAGE WILL APPLY IF NEW CONSTRUCTION PROPOSED, OR VACANT LOT.

SURVEY NOTES:

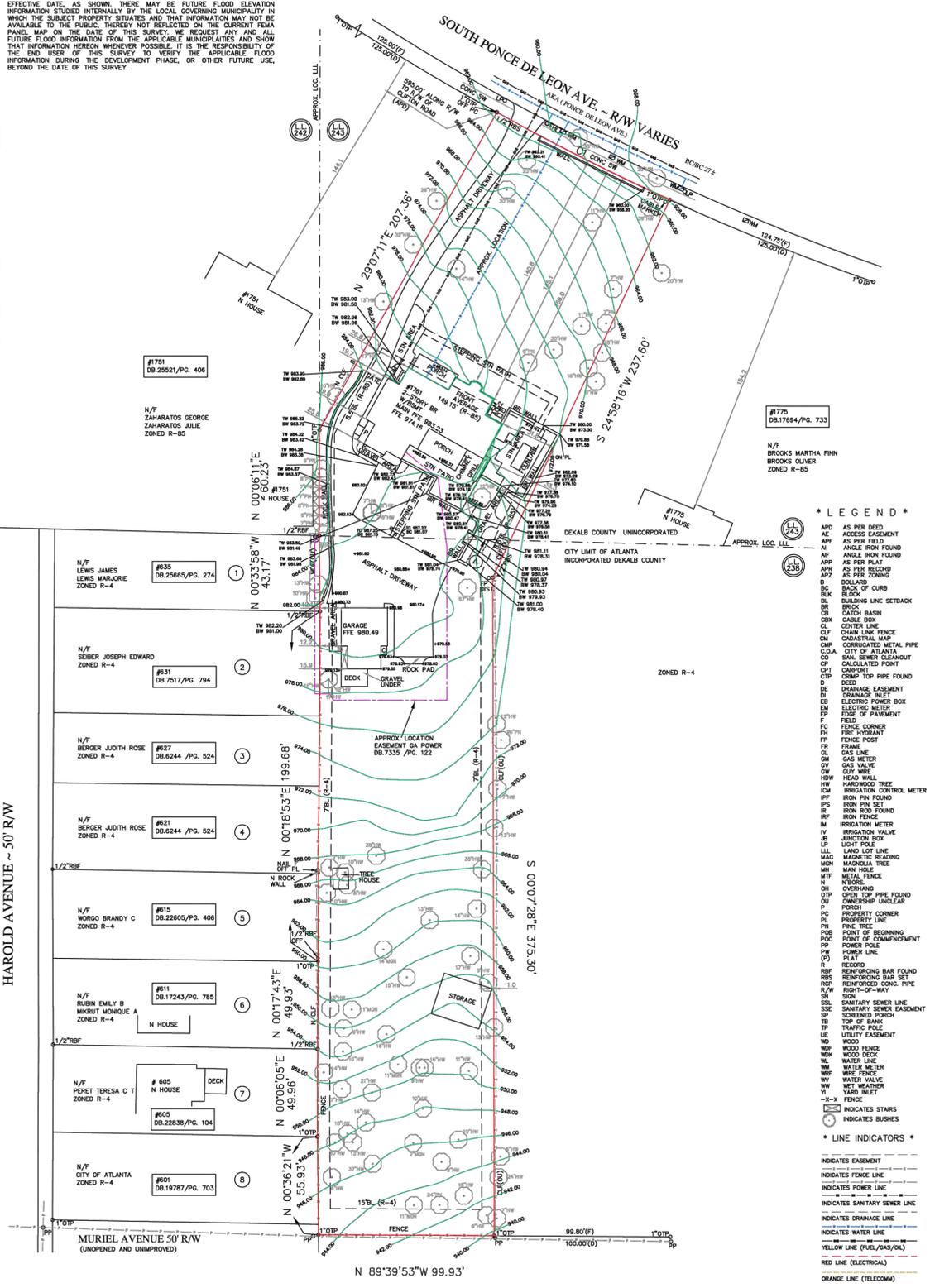
- STORM SEWER, SANITARY SEWER AND OTHER BURIED UTILITIES MAY HAVE BEEN PAVED OR COVERED OVER. THE LOCATION OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE SURVEYOR. LOCATION OF UNDERGROUND MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES. BEFORE EXCAVATIONS ARE BEGUN, TELEPHONE, ELECTRIC, WATER AND SEWER, GAS COMPANIES SHOULD BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.
- THIS PLAN WAS PREPARED TO SHOW THE APPROXIMATE LOCATION OF THE IMPROVEMENTS AND IS NOT RECORDEABLE. FENCES SHOULD NOT BE LOCATED USING SIDE DIMENSIONS FROM THE HOUSE. ALL MATTERS OF TITLE ARE EXCEPTED. THIS PLAN IS SUBJECT TO ALL LEGAL EASEMENTS AND RIGHT OF WAY PUBLIC OR PRIVATE.
- SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD RECORDED AND NOT RECORDED, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
- THIS SURVEY WAS MADE WITH THE BENEFIT OF CURRENT TITLE COMMITMENT, EASEMENTS AND ENCUMBRANCES MAY EXIST WHICH BENEFIT OR BURDEN THIS PROPERTY. MATTERS OF TITLE ARE EXCEPTED. PROPERTY OWNER OR PERSON ORDERING THE SURVEY IS RESPONSIBLE TO CONTACT CLOSING ATTORNEY OR TITLE COMPANY FOR A FULL TITLE SEARCH AND COMMITMENT INCLUDING ALL THE EXCEPTIONS.
- SURVEYOR LAND EXPRESS, INC IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, TELEPHONE CONVERSATION WITH ZONING OFFICE AT THE COUNTY OR CITY, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.
- THIS PLAN WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS OR ENTITY NAMED HEREON. THIS PLAN DOES NOT EXTEND TO ANY UNNAMED PERSON, PERSONS, OR ENTITY WITHOUT THE EXPRESS RECERTIFICATION OF THE SURVEYOR NAMING SUCH PERSON, PERSONS, ENTITY.

THIS SURVEY PLAT OF EXISTING CONDITIONS ON THE PROPERTY MUST BE USED AS A SINGLE STAND ALONE DOCUMENT. IT CAN NOT BE SCANNED OR ALTERED, CROPPED OUT COPY/PASTED OR MODIFIED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE. THIS SURVEY PLAT CAN BE ONLY ATTACHED AS A SEPARATE DOCUMENT BY ITSELF TO DEVELOPMENT PROJECTS AND SITEPLANS AND CAN NOT BE INSERTED WITH SURVEY LAND EXPRESS TITLE BLOCK, SURVEYOR'S STAMP AND SIGNATURE TO SOME OTHER DEVELOPMENT PROJECTS PREPARED BY ANY OTHER PARTY WITHOUT WRITTEN APPROVAL AND ORIGINAL BLUE INK SIGNATURE OF THE SURVEYOR OF RECORD.

PROPERTY ZONING
 ZONING R-4
 SETBACK PER ZONING ARE:
 FRONT: 35'
 SIDE: 7'
 REAR: 15'
 MAX LOT COVERAGE 50%

ZONING R-85
 SETBACK PER ZONING ARE:
 FRONT AVERAGE
 SIDE: 8.5'
 REAR: 40'
 MAX LOT COVERAGE 35%

ZONING NOTE:
 BEFORE DEVELOPMENT OF THIS PROPERTY, DEVELOPER AND ARCHITECT TO CONFIRM ZONING DISTRICT, PER ZONING DEPARTMENT. ZONING INFORMATION SHOWN HEREON WAS DERIVED FROM ONLINE SOURCE WUNNOCDE.



LOT 6	BLOCK B
SUBDIVISION	UNIT
LAND LOTS 238 & 243	15TH DISTRICT
DEKALB COUNTY, GEORGIA	PB./PG. DB.17551/PG.568
FIELD WORK DATE DEC 08, 2023	PRINTED/SIGNED DECEMBER 13, 2023
ALL MATTERS PERTAINING TO TITLE ARE EXCEPTED	PAPER SIZE: 18" x 24"

EXISTING CONDITIONS SURVEY PREPARED FOR: SHEET 1 OF 1
1761 S PONCE DE LEON TRUST
 PROPERTY ADDRESS:
 1761 S. PONCE DE LEON AVENUE
 ATLANTA, GA 30307

TOTAL LAND AREA
 67607.47 SF / 1.552 AC
 EXISTING LOT COVERAGE
 12915.58 SF / 0.297 AC / 19.10%

AP COORD #20120300 DWG #20170968
SURVEY LAND EXPRESS, INC
 LAND SURVEYING SERVICES
 24 LENOX POINT
 ATLANTA, GA 30324
 TEL: 404-292-5747
 INFO@SURVEYLANDPRESS.COM

DRAWN BY: DB
 CHECKED BY: BF
 SCALE: 1" = 40'-0"
 RELEASES: 1. 10/9/2025
 BZA APP.

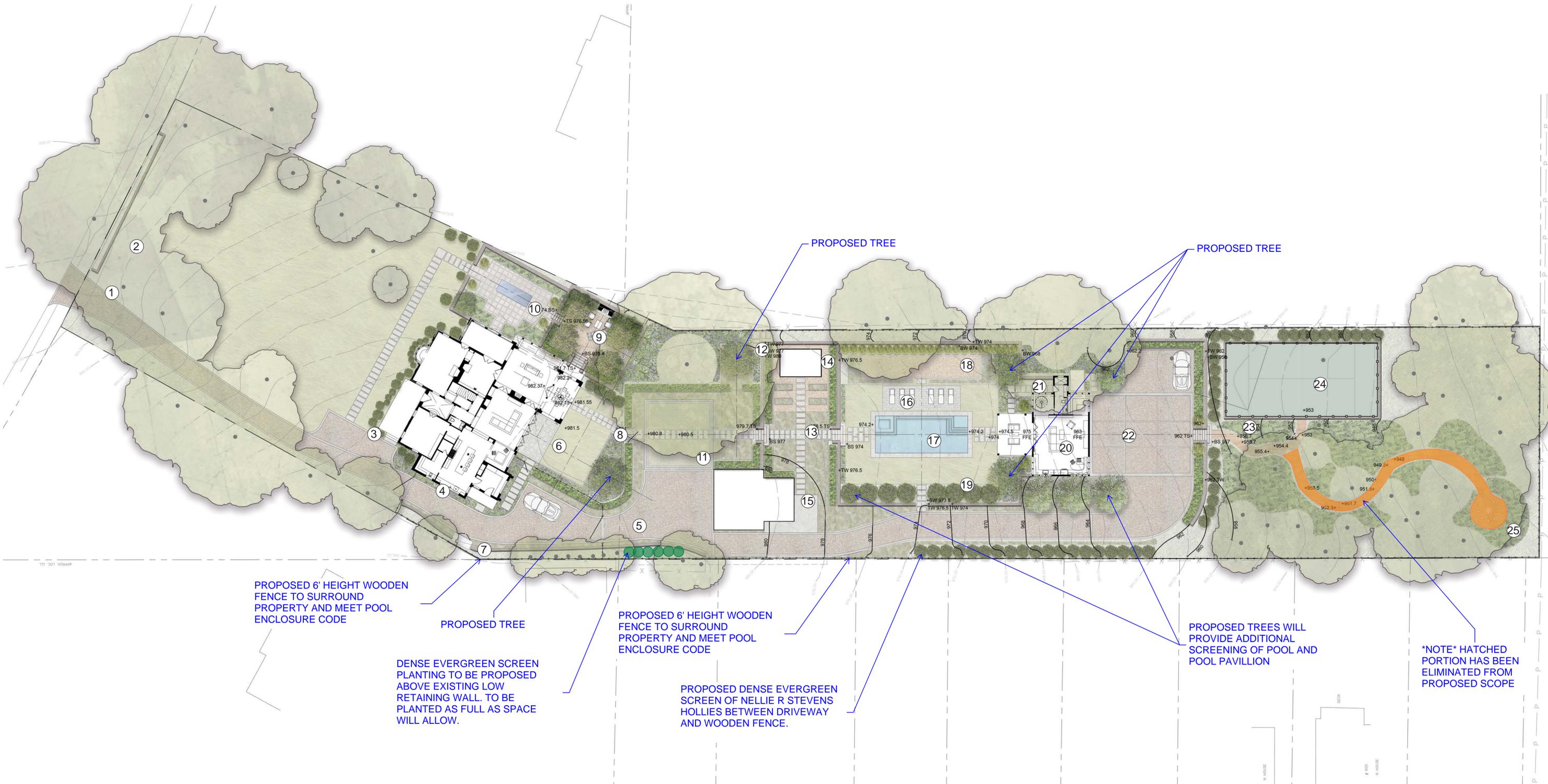
DRAWING TITLE:
 SURVEY BY SURVEY LAND EXPRESS
 PROJECT:
 SOUTH PONCE DE LEON RESIDENCE
 1761 S. PONCE DE LEON AVE
 ATLANTA, GA 30307

SEAL:
 GEORGIA REGISTERED PROFESSIONAL SURVEYOR
 A. STEPHEN

Know what's below.
 Call before you dig.
811

FIELD LANDSCAPE ARCHITECTURE
 195 Arizona Ave, Unit LW4
 Atlanta, GA 30307
 P: 706.461.6631
 E: brian@fieldia.com
 W: fieldia.com

SHEET:
L-EX-1



PROPOSED 6' HEIGHT WOODEN FENCE TO SURROUND PROPERTY AND MEET POOL ENCLOSURE CODE

PROPOSED TREE

DENSE EVERGREEN SCREEN PLANTING TO BE PROPOSED ABOVE EXISTING LOW RETAINING WALL. TO BE PLANTED AS FULL AS SPACE WILL ALLOW.

PROPOSED 6' HEIGHT WOODEN FENCE TO SURROUND PROPERTY AND MEET POOL ENCLOSURE CODE

PROPOSED DENSE EVERGREEN SCREEN OF NELLIE R STEVENS HOLLIES BETWEEN DRIVEWAY AND WOODEN FENCE.

PROPOSED TREES WILL PROVIDE ADDITIONAL SCREENING OF POOL AND POOL PAVILLION

NOTE HATCHED PORTION HAS BEEN ELIMINATED FROM PROPOSED SCOPE

LEGEND

- 1. New driveway, exposed aggregate concrete w/cobblestone banding
- 2. Brick retaining wall w/limestone cap
- 3. Guest parking
- 4. First vehicular gate
- 5. Second vehicular gate
- 6. Stone patio adjacent to proposed glass doors
- 7. Trash enclosure
- 8. Lawn panel w/cobblestone edging & stepping stone path
- 9. Sunken garden with fireplace, seating, & tree grove in gravel
- 10. Existing enclosed garden w/fountain
- 11. Motor court garden, cobblestone w/lawn joints, approx 30' x 30'
- 12. Garden terrace w/focal ornamental tree
- 13. Stone steps & stone stepper pathway w/planted joints, through native meadow
- 14. Greenhouse, 12' x 18', with (4) raised garden beds in gravel
- 15. Existing carriage house
- 16. Poolside patio with chaise lounges
- 17. Swimming pool w/spa & sun shelf, 16' x 40'
- 18. Bocce ball court, 9' x 50'
- 19. Vegetative screening & path to rear driveway
- 20. Proposed pool house
- 21. Path to pool shower
- 22. Rear motor court, exposed aggregate concrete w/cobblestone banding
- 23. Raised boardwalk through woodland
- 24. Elevated padel court, approx. 33' x 66'
- 25. Woodland firepit circle



S Ponce De Leon Residence
 1761 S Ponce De Leon Avenue NE
 Atlanta, GA 30307

RUNOFF REDUCTION CALCULATIONS:

RUNOFF REDUCTION CALCULATIONS			
AREA	SF	NOT/TREATED	BMP LOCATION
EXISTING CARRIAGE HOUSE	806	NOT TREATED	N/A
PROPOSED DRIVEWAY + PARKING COURTS	5,542	TREATED	TRENCH 1
PROPOSED GRAVEL + CONCRETE PAVING	1,810	TREATED	TRENCH 1
PROPOSED RETAINING WALLS	652	TREATED	TRENCH 1
PROPOSED STAIRS	158	TREATED	TRENCH 1
PROPOSED POOL	640	TREATED	TRENCH 1
PROPOSED POOL COPING	240	TREATED	TRENCH 1
PROPOSED GARAGE / POOL HOUSE + PATIO	1,205	TREATED	TRENCH 1
PROPOSED SPORT COURT	2,260	TREATED	TRENCH 2
PROPOSED BOARDWALK + FIREPIT	868	TREATED	TRENCH 2
TOTAL TREATED IMPERVIOUS AREA	13,375		SF

INFILTRATION TRENCH:

Water Quality / Runoff Reduction Calculations		
Per GSWMM Section 2.2.4.1		
Water Quality Volume (WQv)		
Runoff Reduction (RRv)		
Site Area (A) =	39,590	SF
Treated Impervious Area =	13,375	SF
% Impervious (I) =	34.00	%
RRv = (P.Rv.A)/12	1174.5	CF
Rv = 0.05 + I*(0.009)	0.356	

Stone Storage Infiltration Trench #1 W/ Pipe Calculation		
Runoff Reduction Calculations	1" required for required area impervious	
Required Treated Impervious Area =	10247.0	SF
Required RRv Volume =	899.8	CF
Pipe Volume		
Diameter of Pipe	3.0	FT
Length of Pipe	45.0	FT
Volume of Single Pipe	318.1	CF
All volume to be provided in Stone Storage Infiltration Trench w 40% void ratio		
Gravel Volume		
Length of Trench	45.0	FT
Width of Trench	25.0	FT
Depth of Trench	6.0	FT
Volume of Gravel	2572.8	CF
Provided Gravel Volume + Pipe Volume =	2890.9	CF
Required Volume =	899.8	CF
Percent of Volume Provided over required	321%	

Stone Storage Infiltration Trench #2 W/ Pipe Calculation		
Runoff Reduction Calculations	1" required for required area impervious	
Required Treated Impervious Area =	3128.0	SF
Required RRv Volume =	274.7	CF
Pipe Volume		
Diameter of Pipe	3.0	FT
Length of Pipe	20.0	FT
Volume of Single Pipe	141.4	CF
All volume to be provided in Stone Storage Infiltration Trench w 40% void ratio		
Gravel Volume		
Length of Trench	20.0	FT
Width of Trench	12.0	FT
Depth of Trench	7.0	FT
Volume of Gravel	615.5	CF
Provided Gravel Volume + Pipe Volume =	756.8	CF
Required Volume =	274.7	CF
Percent of Volume Provided over required	276%	

PEAK FLOW SUMMARY:

PEAK FLOW SUMMARY CHART FOR BASIN 1												
Storm Event	Pre-Developed Study Point Q (cfs)	Post-Developed Q (cfs) to Trench 1A	Post-Developed Q (cfs) to Trench 1B	Post-Developed Bypass Q (cfs)	Pond 1A Routed Q (cfs)	Pond 1B Routed Q (cfs)	Post-Developed Study Point (cfs)	% Reduction from Pre Developed	Peak Pond 1A Elevation	Total Pond 1A Storage	Peak Pond 1B Elevation	Total Pond 1B Storage
1-YR	0.69	0.70	0.23	0.09	0.00	0.00	0.09	87.46%	956.37	1055	940.14	343
2-YR	0.79	0.81	0.26	0.10	0.00	0.00	0.10	87.48%	956.68	1216	940.54	395
5-YR	0.97	0.99	0.32	0.12	0.00	0.00	0.12	87.46%	957.19	1485	941.24	482
10-YR	1.12	1.14	0.37	0.14	0.00	0.00	0.14	87.54%	957.62	1716	941.97	557
25-YR	1.33	1.36	0.44	0.17	0.00	0.00	0.17	87.55%	958.25	2039	943.06	662
50-YR	1.49	1.53	0.50	0.19	0.00	0.15	0.22	85.52%	958.79	2295	943.73	726
100-YR	1.66	1.70	0.55	0.21	0.00	0.41	0.57	65.62%	959.36	2555	943.93	746

RELEASED FOR CONSTRUCTION

24 HOUR EMERGENCY CONTACT: DAVIS BISHOP 404-831-7180

STORMWATER DESCRIPTION :

TOTAL PROPOSED IMPERVIOUS AREA FOR THE SITE IS 13,375 SF. RUNOFF REDUCTION VOLUME PROVIDED BY TWO UNDERGROUND INFILTRATION TRENCHES.

THE STONE STORAGE TRENCH #1 WILL TREAT FOR A TOTAL OF 10,247 SF OF IMPERVIOUS AREA. THE TRENCH #1 IS TO BE FILLED WITH #57 STONE (40% VOID RATIO) AND 3' PERFORATED PIPE. THE TOTAL REQUIRED VOLUME OF THE UNDERGROUND MODIFIED PERFORATED PIPE SYSTEM IS 899.8 CUBIC FEET. THE TOTAL PROVIDED VOLUME OF THE UNDERGROUND MODIFIED PERFORATED PIPE SYSTEM IS 2,890.9 CUBIC FEET. THE POSITION OF TRENCH #1 IS SUCH THAT IT IS AT LEAST 10 FEET AWAY FROM STRUCTURES AND PROPERTY LINES. THE TRENCH IS 45 FT LONG, 25 FT WIDE, AND 6 FT DEEP.

THE STONE STORAGE TRENCH #2 WILL TREAT FOR A TOTAL OF 3,128 SF OF IMPERVIOUS AREA. THE TRENCH #2 IS TO BE FILLED WITH #57 STONE (40% VOID RATIO) AND 3' PERFORATED PIPE. THE TOTAL REQUIRED VOLUME OF THE UNDERGROUND MODIFIED PERFORATED PIPE SYSTEM IS 274.7 CUBIC FEET. THE TOTAL PROVIDED VOLUME OF THE UNDERGROUND MODIFIED PERFORATED PIPE SYSTEM IS 756.8 CUBIC FEET. THE POSITION OF TRENCH #2 IS SUCH THAT IT IS AT LEAST 10 FEET AWAY FROM STRUCTURES AND PROPERTY LINES. THE TRENCH IS 20 FT LONG, 12 FT WIDE, AND 7 FT DEEP.

THE RUNOFF REDUCTION VOLUME PROVIDED BY THE BMP SHOWN EXCEED THE REQUIREMENTS.

RUNOFF REDUCTION NOTES :

VEGETATION

THE TRENCH IS NORMALLY COVERED WITH TOPSOIL AND MANAGED TURF OR OTHER HERBACEOUS VEGETATION. AS AN ALTERNATIVE, THE AREA ABOVE THE SURFACE OF A TRENCH MAY BE COVERED WITH PEA GRAVEL (OR LARGER DEPENDING ON THE INFLOW RATES) TO ALLOW FOR INCIDENTAL LATERAL INFLOW ALONG THE EDGE OF GROUND LEVEL IMPERVIOUS SURFACES. THE DOWNSTREAM END OF THE PIPE MUST BE STABILIZED AND CAN BE LANDSCAPED FOR AESTHETICS.

MAINTENANCE

- INSPECT GUTTERS AND DOWNSPOUTS REMOVING ACCUMULATED LEAVES AND DEBRIS, CLEANING LEAF REMOVAL SYSTEM(S).
- IF APPLICABLE, INSPECT PRETREATMENT DEVICES FOR SEDIMENT ACCUMULATION.
- INSPECT TRENCH FOLLOWING A LARGE RAINFALL EVENT TO INSURE OVERFLOW IS OPERATING AND FLOW IS NOT CAUSING PROBLEMS.

CONSTRUCTION STEPS

- REVIEW POTENTIAL TRENCH AREAS AND LAYOUT. TRENCH SHOULD NOT BE LOCATED: (1.) BENEATH AN IMPERVIOUS (PAVED) SURFACE; (2.) ABOVE AN AREA WITH A WATER TABLE OR BEDROCK LESS THAN TWO FEET BELOW THE TRENCH BOTTOM; (3.) OVER OTHER UTILITY LINES; OR (4.) ABOVE A SEPTIC FIELD. INSURE OUTLET DAYLIGHTS AT LEAST TEN FEET FROM PROPERTY LINE.
- IF SOIL IS A CONCERN PERFORM INFILTRATION TEST. IF THE RATE IS LESS THAN 0.25 IN/HR THIS METHOD CANNOT BE USED. IF THE RATE IS MORE THAN 0.50 IN/HR THE LENGTH OF THE DITCH MAY BE DECREASED 10% FOR EVERY 0.50 IN/HR INFILTRATION RATE INCREASE ABOVE 0.50 IN/HR.
- MEASURE ELEVATIONS AND LAY OUT THE TRENCH TO THE REQUIRED DIMENSIONS MARKING THE ROUTE AND REQUIRED EXCAVATION DEPTHS. OBTAIN A LEVEL LINE (TORPEDO LEVEL) IS USED.
- PLACE AND TAMP GRAVEL IN DITCH TO PLANNED DEPTH PLACING THE PIPE THREE INCHES DEEP IN THE UPPER PORTION OF THE GRAVEL, THEN PLACE AND STONE TAMP GRAVEL UNTIL IT COVERS THE PIPE.
- PLACE DRAINAGE FABRIC OVER TOP OF PIPE AND STONE.
- PLACE TOPSOIL AND SOD OR PEA GRAVEL.
- CUT AND ROUTE DOWNSPOUTS OR OTHER RAINWATER DELIVERY COMPONENTS. ADD STRAP AND SUPPORT AS NEEDED.
- CREATE A SAFE OVERFLOW AT LEAST 10 FEET FROM YOUR PROPERTY EDGE AND INSURE IT IS PROTECTED FROM EROSION.

STORAGE TRENCH HAS BEEN OVERSIZED TO CAPTURE MORE VOLUME THAN REQUIRED

STORAGE TRENCH HAS BEEN OVERSIZED TO CAPTURE MORE VOLUME THAN REQUIRED

TRENCH #1 TO CAPTURE STORMWATER FROM DEKALB/ATLANTA PROPERTY SPLIT TO THIS POINT

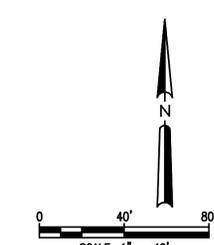
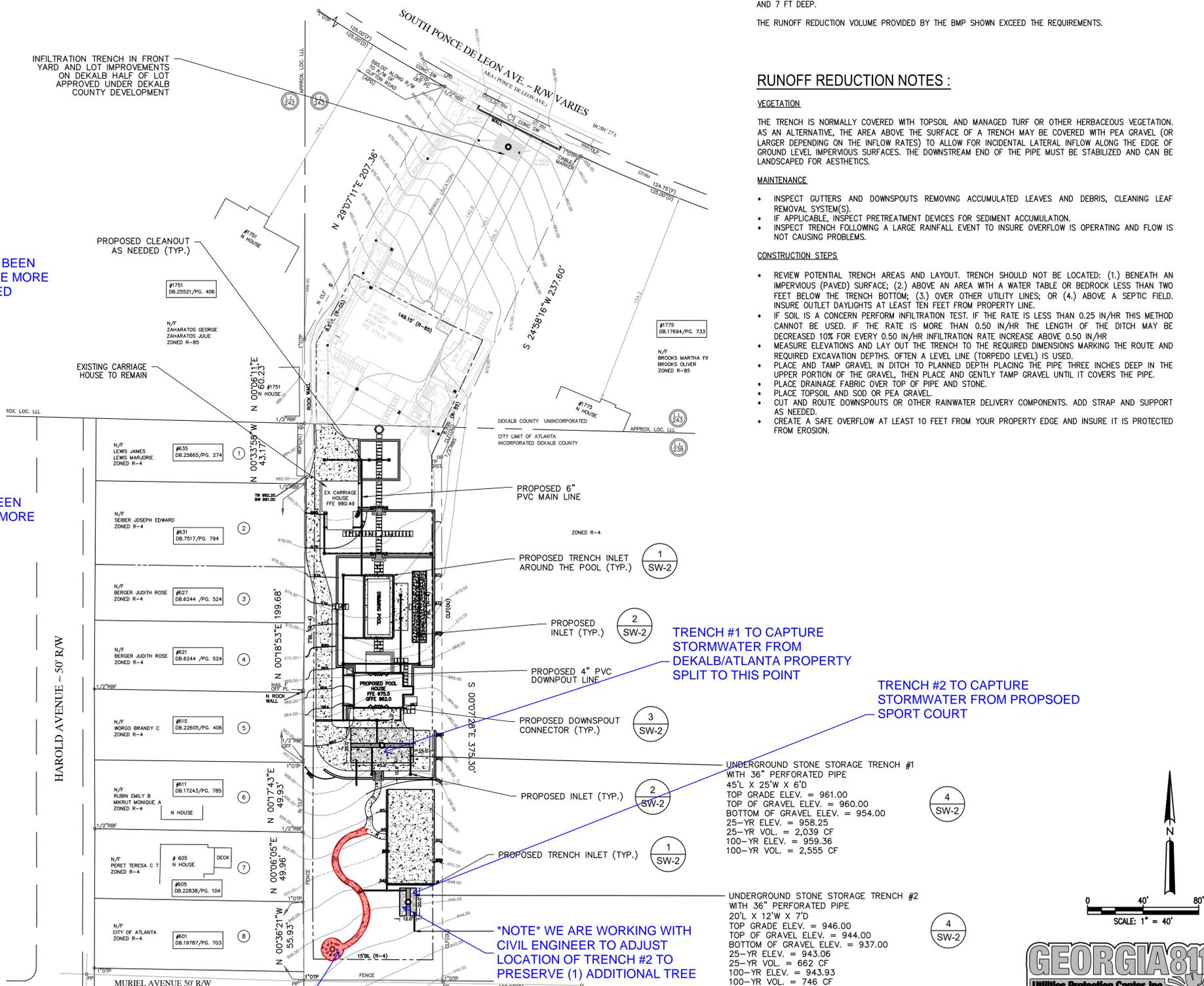
TRENCH #2 TO CAPTURE STORMWATER FROM PROPOSED SPORT COURT

UNDERGROUND STONE STORAGE TRENCH #1 WITH 36" PERFORATED PIPE 45' X 25' X 6'D TOP GRADE ELEV. = 961.00 TOP OF GRAVEL ELEV. = 960.00 BOTTOM OF GRAVEL ELEV. = 954.00 25-YR ELEV. = 958.25 25-YR VOL. = 2,039 CF 100-YR ELEV. = 959.36 100-YR VOL. = 2,555 CF

UNDERGROUND STONE STORAGE TRENCH #2 WITH 36" PERFORATED PIPE 20' X 12' X 7'D TOP GRADE ELEV. = 946.00 TOP OF GRAVEL ELEV. = 944.00 BOTTOM OF GRAVEL ELEV. = 937.00 25-YR ELEV. = 943.06 25-YR VOL. = 662 CF 100-YR ELEV. = 943.93 100-YR VOL. = 746 CF

NOTE WE ARE WORKING WITH CIVIL ENGINEER TO ADJUST LOCATION OF TRENCH #2 TO PRESERVE (1) ADDITIONAL TREE

THIS AREA HAS BEEN ELIMINATED FROM PROJECT SCOPE



PREPARED BY:
CRESCENT VIEW
ENGINEERING, LLC.
211 Frazer Street
Marietta, GA 30060
678-304-0410
www.crescentvieweng.com

PREPARED FOR:
FIELD LANDSCAPING
ARCHITECTURE LLC
185 ARIZONA AVE UNIT LW4
ATLANTA, GA 30307
404-831-7180

STORMWATER PLAN		REVISIONS	
DATE	05-07-25	SCALE	AS SHOWN
DRAWN	SRN	CHECKED	

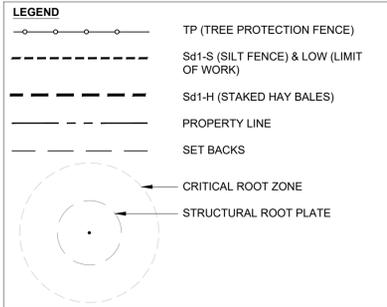


CONSTRUCTION PLANS FOR:
1761 SOUTH PONCE DE LEON AVENUE NE
LAND LOT 238 & 243, 15 DISTRICT
CITY OF ATLANTA, GEORGIA

CVE PI # 24-498

SHEET NO.
SW-1

ID	DESCRIPTION	IMPACT/REMOVAL
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2	13" HWD CRZ = 531 SF	EXISTING IMPACT = 87 SF NET CRZ = 444 SF IMPACT = 16 SF (3.6%)
3	10" HWD CRZ = 314 SF	EXISTING IMPACT = 17 SF NET CRZ = 297 SF IMPACT = 32 SF (10.8%)
4	8/12/17" MAGNOLIA CRZ = 4300 SF	DDH TREE HAS BEEN APPROVED UNDER BA: 202400499
5	12" HWD CRZ = 452 SF	IMPACT = 50 SF (11.1%)
6	26" PINE CRZ = 2124 SF	IMPACT = 520 SF (24.5%) TREE PRESCRIPTION APPLIED FOR
7	7" PINE CRZ = 154 SF	NO IMPACT PROPOSED
8	13" HWD CRZ = 531 SF	IMPACT = 75 SF (14.1%)
9	35" HWD CRZ = 3848 SF	IMPACT = 1271 SF (33.0%) TREE PRESCRIPTION APPLIED FOR
10	7" HWD CRZ = 154 SF	DDH TREE HAS BEEN REMOVED UNDER BA: 202503558
11	10" HWD CRZ = 314 SF	DDH TREE HAS BEEN REMOVED UNDER BA: 202503558
12	10" HWD CRZ = 314 SF	DDH TREE HAS BEEN REMOVED UNDER BA: 202503558
13	8" HWD CRZ = 201 SF	DDH TREE HAS BEEN REMOVED UNDER BA: 202503558
14	38" HWD CRZ = 4536 SF	DESTROYED FROM CONSTRUCTION
15	14" HWD CRZ = 616 SF	DESTROYED FROM VEHICULAR INGRESS/EGRESS
16	17" HWD CRZ = 908 SF	DESTROYED FROM VEHICULAR INGRESS/EGRESS
17	13" HWD CRZ = 531 SF	DDH TREE HAS BEEN REMOVED UNDER BA: 202503558
18	14" MAG CRZ = 616 SF	DESTROYED FROM VEHICULAR INGRESS/EGRESS
19	15" HWD CRZ = 707 SF	DDH TREE HAS BEEN REMOVED UNDER BA: 202503558
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21	13" HWD CRZ = 531 SF	IMPACT = 93 SF (17.5%)
22	13" HWD CRZ = 531 SF	NO IMPACT PROPOSED
23	11" MAG CRZ = 380 SF	NO IMPACT PROPOSED
24	16" HWD CRZ = 804 SF	IMPACT = 6 SF (0.7%)
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36	14" HW CRZ = 616 SF	NO IMPACT PROPOSED
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38	11" MAG CRZ = 380 SF	NO IMPACT PROPOSED
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40	16" HW CRZ = 804 SF	IMPACT = 49 SF (6.1%)
41	24" HW CRZ = 1809 SF	IMPACT = 165 SF (9.1%)



ZONING
R-4
FRONT: 35 FT
SIDES: 7 FT
REAR: 15 FT
MAX LOT COVERAGE: 50%
MINIMUM LOT AREA: 9,000 SF (207 AC)

NOTE ALL PROPOSED WORK IN FRONT PORTION OF PROPERTY HAS BEEN REVIEWED AND PERMITTED UNDER DEKALB COUNTY JURISDICTION.

TREE RECOMPENSE CALCULATIONS
\$100.00 (10 DESTROYED) - 2 REPLACED + \$30.00 (149 IN. DESTROYED - 6 IN. REPLACED) = \$5,090

REPLACEMENT TREES
(1) QUERCUS COCCINEA, SCARLET OAK, 3" CAL.
(1) NYSSA SYLVATICA, BLACKGUM TUPELO, 3" CAL.

TREE DENSITY CALCULATIONS
TOTAL CALIPER INCHES TO REMAIN (IN CITY OF ATLANTA PORTION OF PROPERTY): 383"

TOTAL CALIPER INCHES REQUIRED:
(R-4 = 40 INCHES PER ACRE)
LOT SIZE: 908 AC
(40 x 908 = 36,32 INCHES REQUIRED)

TOTAL ACREAGE OF SITE (ATLANTA): .908 AC (39,584 SF)
TOTAL AREA DISTURBED: .587 AC (25,603 SF)

CUT / FILL CALCULATIONS
TOTAL CUT: 536.6 CY
TOTAL FILL: 508.8 CY
TOTAL CUT TO BE BROUGHT OFF SITE: 27.8 CY
TOTAL FILL TO BE BROUGHT ON SITE: 0 CY

* CUT / FILL CALCULATIONS ARE APPROXIMATE. NOT TO BE USED FOR BID PURPOSES.

HAUL ROUTE NOT NEEDED

SEE SURVEY FOR TOP ELEVATIONS OF SANITARY, STORM SEWERS AND STRUCTURES.

CONTRACTOR SHALL LOCATE ALL UTILITIES ON SITE PRIOR TO ANY CONSTRUCTION ACTIVITIES

CONTRACTOR TO USE EXISTING UTILITY LINES

NO GRADED SLOPE TO EXCEED 2H:1V

WATERS OF THE STATE ARE NOT PRESENT WITHIN 200 FEET OF THE PROJECT SITE

ALL TREES OVER 6" DBH SHALL BE PROTECTED DURING CONSTRUCTION

A CLEANOUT IS REQUIRED ON ALL STORMWATER STRUCTURES

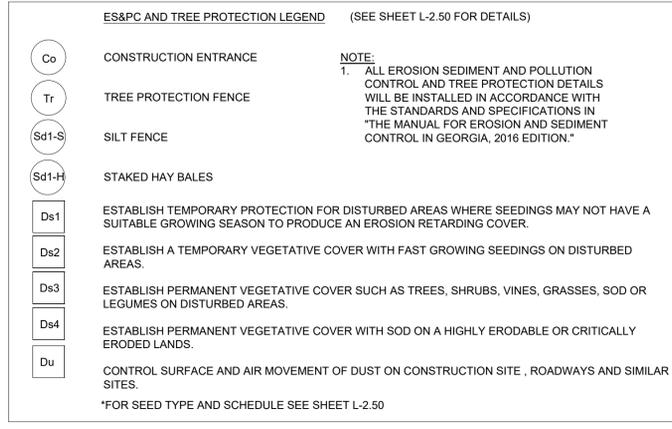
24 HR CONTACT: WES STONE (404) 797 1236

EXISTING IMPERVIOUS SURFACE
DRIVEWAY: 2960 SF
CARRIAGE HOUSE + PORCH: 1007 SF
STORAGE SHED + TREE HOUSE: 793 SF
GRAVEL PATHS: 170 SF
RETAINING WALLS: 73 SF
TOTAL EXISTING IMPERVIOUS: 5,003 SF

REMOVED IMPERVIOUS SURFACE
DRIVEWAY: 2960 SF
STORAGE SHED + TREE HOUSE: 793 SF
GRAVEL PATHS: 170 SF
RETAINING WALLS: 35 SF
TOTAL EXISTING IMPERVIOUS REMOVED: 3,958 SF

NEW OR RENOVATED IMPERVIOUS SURFACE
DRIVEWAY + PARKING COURTS: 5839 SF
WALKING PATHS, PATIOS & BOUCCÉ COURT: 1747 SF
RETAINING WALLS: 875 SF
STAIRS: 163 SF
POOL: 880 SF
POOL PAVILION/GARAGE: 998 SF
SPORT COURT: 2280 SF
BOARDWALK: 185 SF
TOTAL NEW OR RENOVATED IMPERVIOUS SURFACE: 12,947 SF

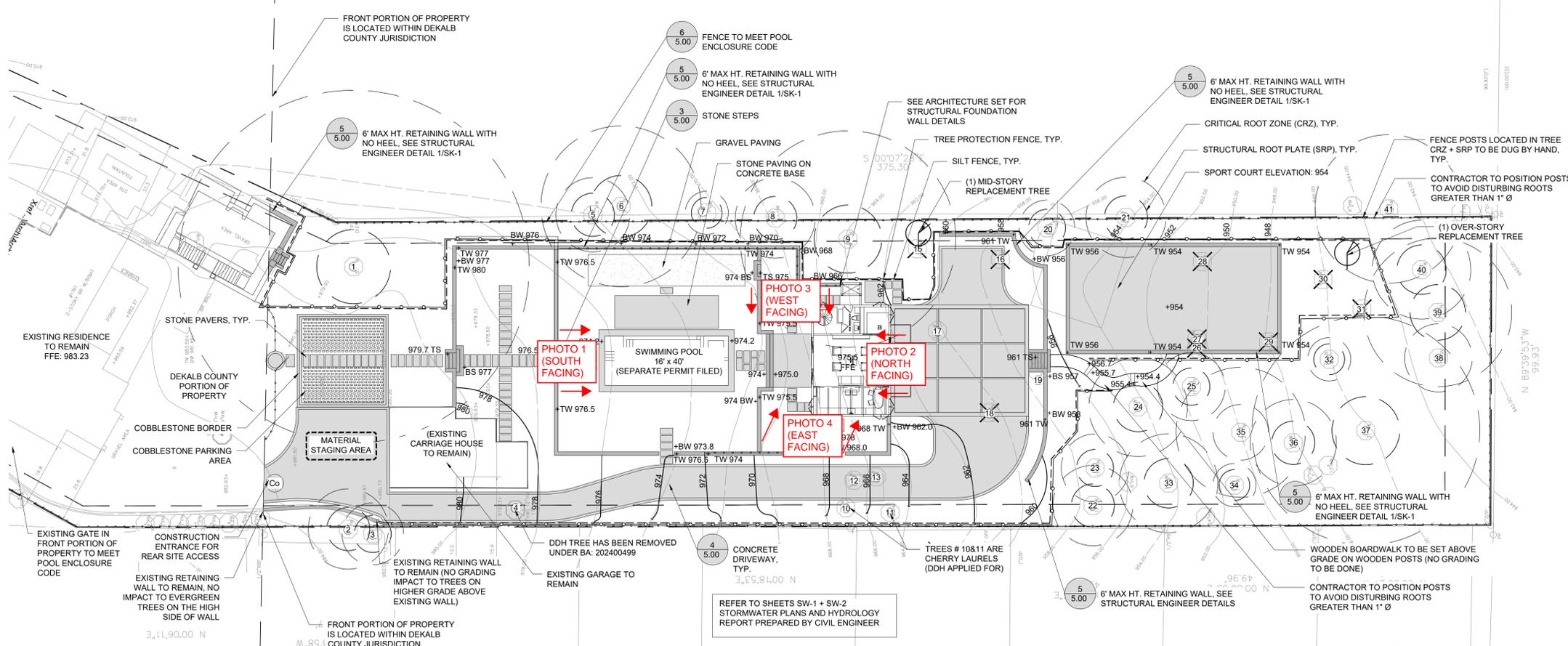
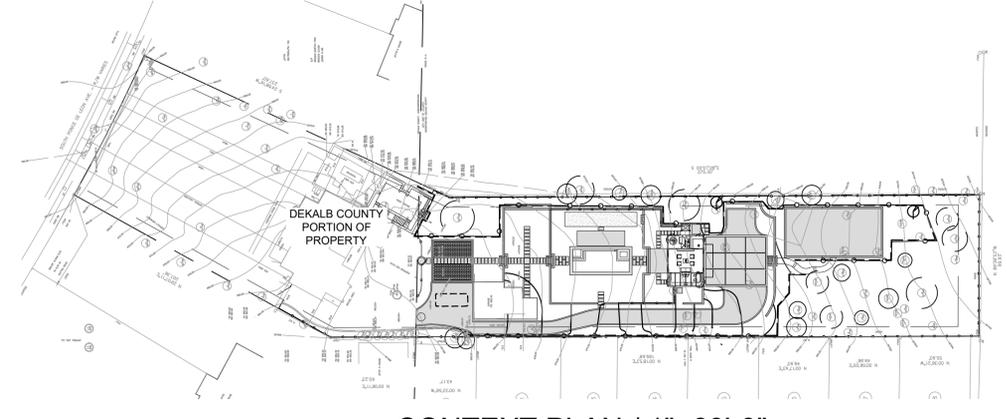
TOTAL LOT AREA (ATLANTA): 39,544 SF
TOTAL EXISTING TO REMAIN, NEW AND/OR RENOVATED IMPERVIOUS SURFACE: 13,992 SF (35.38%)



REFER TO SHEETS SW-1 + SW-2 STORMWATER PLANS AND HYDROLOGY REPORT PREPARED BY CIVIL ENGINEER

EROSION CONTROL NOTES
A) THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
B) EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
C) DISTURBED AREAS LEFT IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION AND MULCH; DISTURBED AREAS REMAINING IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
D) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
E) ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY DURING ON-SITE INSPECTION.
F) SILT FENCE SHALL BE "TYPE S" AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED (SEE ATTACHED DETAIL).
G) CONTRACTOR TO EXCAVATE OR FILL TO TO ACHIEVE WITHIN 3" OF FINISH GRADES ON GRADING PLAN.
H) EROSION AND SEDIMENT CONTROL DEVICES ARE TO BE CLEANED WHEN THEY REACH 1/3 CAPACITY.
I) CONTRACTOR SHALL REMOVE ALL SEDIMENT AND EROSION CONTROL DEVICES AFTER COMPLETION AND AFTER PERMANENT COVER HAS BEEN ESTABLISHED.

POOL BARRIER NOTES:
1. FENCE AND GATE TO MEET 2018 ISPCS CODE FOR SWIMMING POOL BARRIER REQUIREMENTS, SECTION 305.
2. FENCE AND GATE DETAILS ARE SCHEMATIC. FINAL DESIGN TO MEET CODE AND TO BE APPROVED BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. OPENINGS IN THE BARRIER SHALL NOT ALLOW PASSAGE OF A 4" DIAMETER (102mm) SPHERE. MAXIMUM MESH SIZE FOR CHAIN LINK FENCES SHALL BE A 2-1/4" SQUARE.
4. ACCESS GATES SHALL OPEN OUTWARD AWAY FROM THE POOL AND SHALL BE SELF-CLOSING WITH A SELF-LATCHING DEVICE. ACCESS GATES SHALL REMAIN LOCKED AT ALL TIMES WHEN NOT IN USE.
5. POOL BARRIER SHALL NOT BE INSTALLED WITHIN 20" OF WATER'S EDGE.
6. WHERE A WALL OF A STRUCTURE SERVED AS PART OF THE BARRIER, DOORS AND WINDOWS WITH A SILL HEIGHT OF 48" OR LESS SHALL HAVE AN AUDIBLE ALARM, LISTED AND LABELED IN ACCORDANCE WITH UL 2017, IN COMPLIANCE WITH ISPCS, SECTION 305.4.



Know what's below.
Call before you dig.

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PROJECT:
SOUTH PONCE RESIDENCE

1761 S. PONCE DE LEON AVE
ATLANTA, GA 30307

DRAWING TITLE:
SITE PLAN FOR PROPOSED BZA VARIANCE

DRAWN BY: DB
CHECKED BY: BF

SCALE: 1" = 20'-0"

RELEASES:
1. 10/09/2025 BZA APP.

SHEET:

L-1.00

V-25-233
OFFICE OF ZONING
& DEVELOPMENT
RECEIVED
DATE: 10/19/2025



FRONT OF PROPOSED STRUCTURE LOCATION
(SOUTH FACING)



REAR OF PROPOSED STRUCTURE LOCATION
(NORTH FACING)



SIDE OF PROPOSED STRUCTURE LOCATION
(WEST FACING)



SIDE OF PROPOSED STRUCTURE LOCATION
(EAST FACING)



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CONSTRUCTION

SEAL:



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PROJECT:
**SOUTH PONCE
RESIDENCE**

1761 S. PONCE DE LEON AVE
ATLANTA, GA 30307

DRAWING TITLE:
SITE PHOTOS OF LOCATION
OF PROPOSED STRUCTURE

DRAWN BY: DB
CHECKED BY: BF

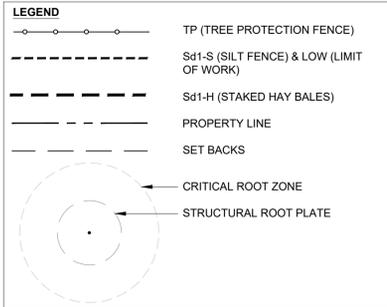
SCALE:

RELEASES:
1. 10/09/2025 BZA APP.

SHEET:

L-EX-2

TREE DATA TABLE		
ID	DESCRIPTION	IMPACT/REMOVAL
1	57" HWD CRZ = 10207 SF	EXISTING IMPACT = 3495 SF NET CRZ = 6712 SF IMPACT = 1091 SF (16.3%)
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NO GRADED SLOPE TO EXCEED 2H:1V

WATERS OF THE STATE ARE NOT PRESENT WITHIN 200 FEET OF THE PROJECT SITE
ALL TREES OVER 6" DBH SHALL BE PROTECTED DURING CONSTRUCTION

A CLEANOUT IS REQUIRED ON ALL STORMWATER STRUCTURES
24 HR CONTACT: WES STONE (404) 797 1236

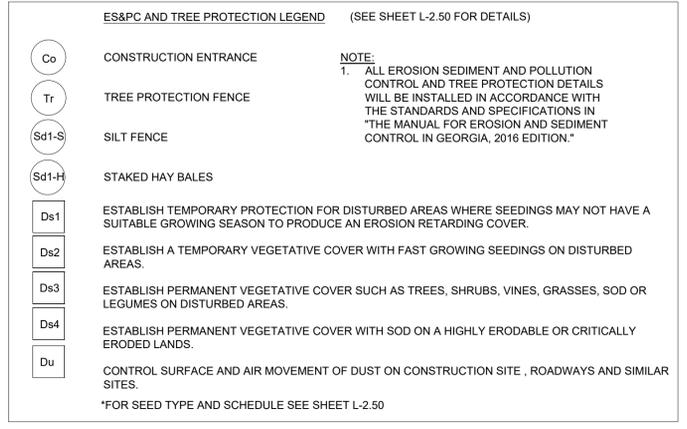
EXISTING IMPERVIOUS SURFACE
DRIVEWAY: 2960 SF
CARRIAGE HOUSE + PORCH: 1007 SF
STORAGE SHED + TREE HOUSE: 793 SF
GRAVEL PATHS: 170 SF
RETAINING WALLS: 73 SF
TOTAL EXISTING IMPERVIOUS: 5,003 SF

REMOVED IMPERVIOUS SURFACE
DRIVEWAY: 2960 SF
STORAGE SHED + TREE HOUSE: 793 SF
GRAVEL PATHS: 170 SF
RETAINING WALLS: 35 SF
TOTAL EXISTING IMPERVIOUS REMOVED: 3,958 SF

NEW OR RENOVATED IMPERVIOUS SURFACE
DRIVEWAY + PARKING COURTS: 5839 SF
WALKING PATHS, PATIOS & BOCCIE COURT: 1747 SF
RETAINING WALLS: 875 SF
STAIRS: 163 SF
POOL: 880 SF
POOL PAVILION/GARAGE: 998 SF
SPORT COURT: 2260 SF
BOARDWALK: 185 SF
TOTAL NEW OR RENOVATED IMPERVIOUS SURFACE: 12,947 SF

TOTAL LOT AREA (ATLANTA): 39,544 SF
TOTAL EXISTING TO REMAIN, NEW AND/OR RENOVATED IMPERVIOUS SURFACE: 13,992 SF (35.38%)

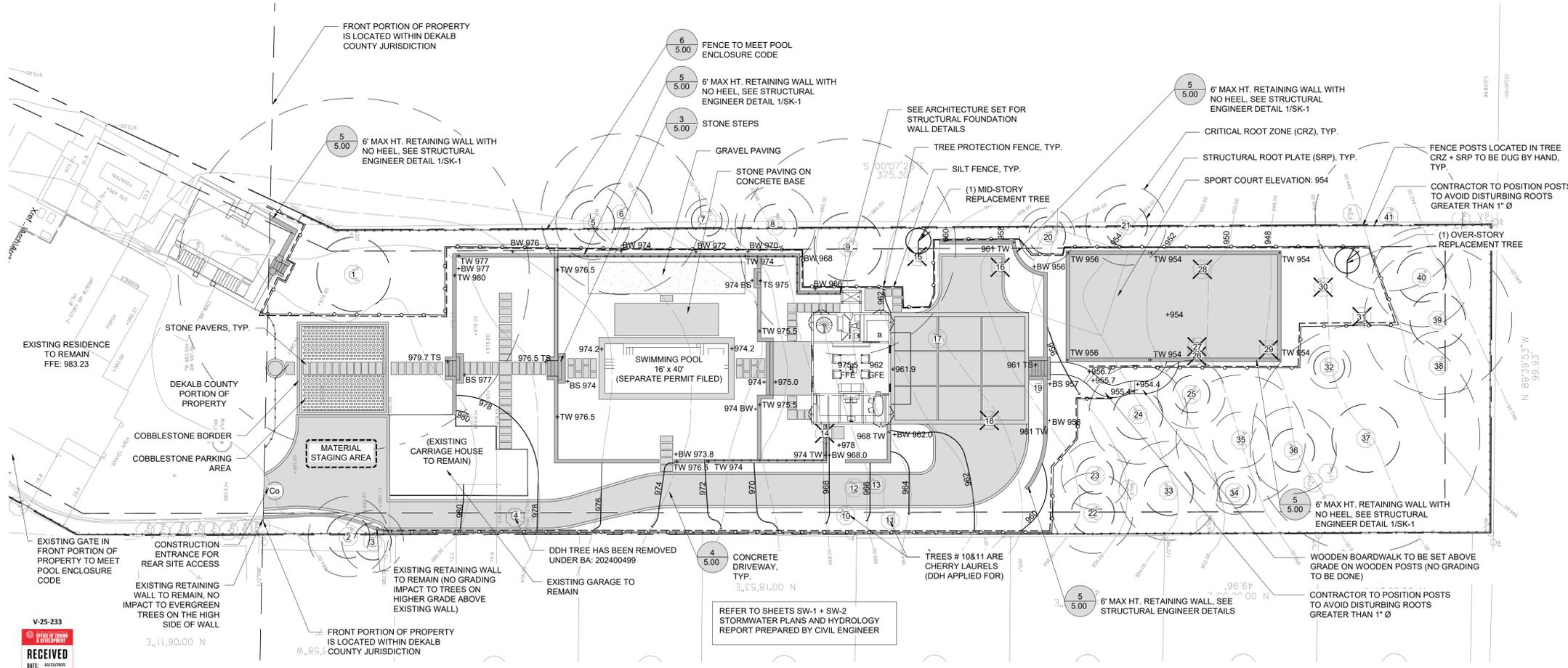
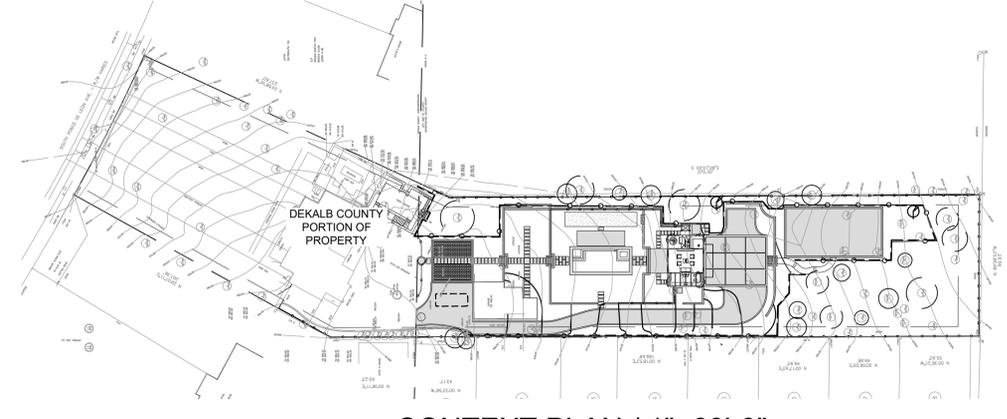
REFER TO SHEETS SW-1 + SW-2 STORMWATER PLANS AND HYDROLOGY REPORT PREPARED BY CIVIL ENGINEER



*FOR SEED TYPE AND SCHEDULE SEE SHEET L-2.50

EROSION CONTROL NOTES
A) THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES PRIOR TO OR CONCURRENT WITH LAND-DISTURBING ACTIVITIES.
B) EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
C) DISTURBED AREAS LEFT IDLE 14 DAYS SHALL BE STABILIZED WITH TEMPORARY VEGETATION AND MULCH; DISTURBED AREAS REMAINING IDLE 30 DAYS SHALL BE STABILIZED WITH PERMANENT VEGETATION.
D) EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSPECTED AT LEAST WEEKLY, AFTER EACH RAIN, AND REPAIRED AS NECESSARY.
E) ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED IF DETERMINED NECESSARY DURING ON-SITE INSPECTION.
F) SILT FENCE SHALL BE "TYPE S" AS PER THE MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, AND BE WIRE REINFORCED (SEE ATTACHED DETAIL).
G) CONTRACTOR TO EXCAVATE OR FILL TO TO ACHIEVE WITHIN 3" OF FINISH GRADES ON GRADING PLAN.
H) EROSION AND SEDIMENT CONTROL DEVICES ARE TO BE CLEANED WHEN THEY REACH 1/3 CAPACITY.
I) CONTRACTOR SHALL REMOVE ALL SEDIMENT AND EROSION CONTROL DEVICES AFTER COMPLETION AND AFTER PERMANENT COVER HAS BEEN ESTABLISHED.

POOL BARRIER NOTES:
1. FENCE AND GATE TO MEET 2018 ISPCS CODE FOR SWIMMING POOL BARRIER REQUIREMENTS, SECTION 305.
2. FENCE AND GATE DETAILS ARE SCHEMATIC. FINAL DESIGN TO MEET CODE AND TO BE APPROVED BY OWNER AND LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
3. OPENINGS IN THE BARRIER SHALL NOT ALLOW PASSAGE OF A 4" DIAMETER (102mm) SPHERE. MAXIMUM MESH SIZE FOR CHAIN LINK FENCES SHALL BE 2-1/4" SQUARE.
4. ACCESS GATES SHALL OPEN OUTWARD AWAY FROM THE POOL AND SHALL BE SELF-CLOSING WITH A SELF-LATCHING DEVICE. ACCESS GATES SHALL REMAIN LOCKED AT ALL TIMES WHEN NOT IN USE.
5. POOL BARRIER SHALL NOT BE INSTALLED WITHIN 20" OF WATERS EDGE.
6. WHERE A WALL OF A STRUCTURE SERVED AS PART OF THE BARRIER, DOORS AND WINDOWS WITH A SILL HEIGHT OF 48" OR LESS SHALL HAVE AN AUDIBLE ALARM, LISTED AND LABELED IN ACCORDANCE WITH UL 2017, IN COMPLIANCE WITH ISPCS, SECTION 305.4.



Know what's below.
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PROJECT:
SOUTH PONCE RESIDENCE

1761 S. PONCE DE LEON AVE
ATLANTA, GA 30307

DRAWING TITLE:
SITE PLAN FOR PROPOSED
BZA VARIANCE

DRAWN BY: DB
CHECKED BY: BF

SCALE: 1" = 20'-0"

RELEASES:
1. 10/09/2025 BZA APP.

SHEET:

L-1.00



SOUTH PONCE de LEON RESIDENCE POOL PAVILION AND GARAGE

APPLICABLE CODES

NOT RELEASED FOR CONSTRUCTION

219 Fairfield Street
Decatur, GA 30030
Phone: 404-723-0927
karen@soorikianarchitecture.com

SOORIKIAN
ARCHITECTURE

**SOUTH PONCE
RESIDENCE**

**1761 S. Ponce de Leon Ave., NE
Atlanta, GA 30307**



DRAWING INDEX - FOR VARIANCE APPLICATION

CONTACT INFORMATION

- A-1 COVER SHEET—CONTACTS & GENERAL INFORMATION
- A-2 WINDOW AND DOOR SCHEDULES
- A-3 PROPOSED PLAN – GARAGE LEVEL
- A-4 PROPOSED PLAN – POOL PAVILION LEVEL
- A-5 PAVILION EXTERIOR ELEVATIONS
- A-6 PAVILION BUILDING SECTIONS
- A-7 PAVILION WALL SECTION
- A-8 PAVILION WALL SECTION

OWNER

1761 SOUTH PONCE de LEON TRUST
1761 SOUTH PONCE de LEON AVE., NE
ATLANTA, GA 30307
(404) ???-????
sponce1761@gmail.com

ARCHITECT

KAREN SOORIKIAN
SOORIKIAN ARCHITECTURE
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SUITE # G-8
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(404) 723-0927
karen@soorikianarchitecture.com

STRUCTURAL ENGINEER

JAMES BREENEN
STABILITY ENGINEERING
1376 CHURCH STREET
SUITE 200
DECATUR, GA 30030
(404) 377-9316
jbreenen@stabilityengineering.com

SOUTH PONCE de LEON RESIDENCE
1761 S. PONCE de LEON AVE., NE, ATLANTA, GA 30307

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The Contractor shall verify all dimensions and existing conditions of the site before proceeding with each phase of the work.



COVERSHEET
GENERAL
INFORMATION

Date: 10-15-2025
Revisions: REV

Job Number: 23-12
Scale: VARIES
Drawn: KBS
Checked: KBS

A-1

ZONING CALCULATIONS

SCOPE OF WORK

PROPOSED ACCESSORY STRUCTURE:
POOL PAVILION – 989 SF
GARAGE – 989 SF
TOTAL AREA – 1,978 SF

THE PROJECT INVOLVES THE CONSTRUCTION OF LANDSCAPE IMPROVEMENTS TO THE PROPERTY INCLUDING A POOL, A BOCCIE COURT, A PADDLE TENNIS COURT, AN EXTENDED DRIVE AND PARKING COURT, AS WELL AS A NEW GARAGE/POOL HOUSE STRUCTURE.

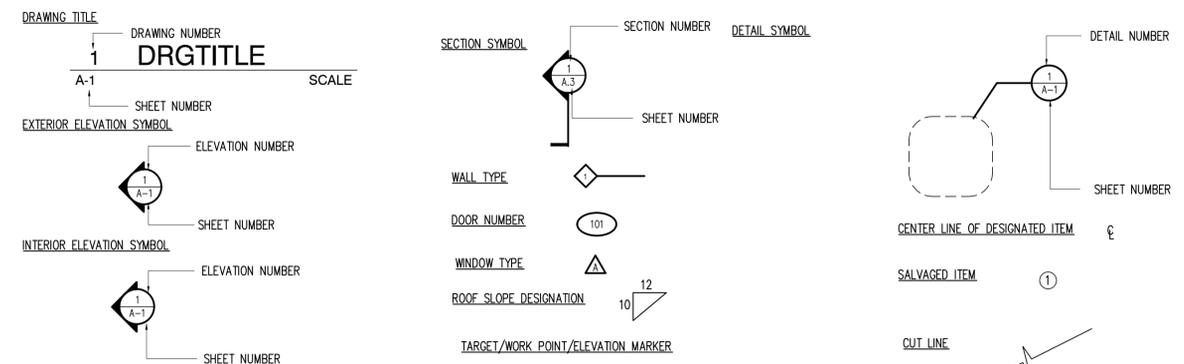
EXISTING GARAGE/DWELLING UNIT TO REMAIN:
1,495 SF

TOTAL ACCESSORY STRUCTURE AREA: 3,473 SF
3,473 / 9,680 (PRINCIPAL STRUCTURE) = 35.8%

GENERAL NOTES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL DIMENSIONS AND CONDITIONS OF CONTRACT DOCUMENTS PRIOR TO ORDERING MATERIALS AND PROCEEDING WITH THE WORK. THE CONTRACTOR IS TO NOTIFY THE OWNER OF ANY DISCREPANCIES AND OBTAIN REQUIRED CLARIFICATION PRIOR TO PROCEEDING WITH THE WORK.
- DO NOT SCALE DRAWINGS.
- ALL GYPSUM BOARD CORNERS SHALL HAVE CONTINUOUS METAL CORNER BEADS FLOOR TO CEILING. ALL EXPOSED GYPSUM BOARD EDGES SHALL HAVE METAL "L" BEADS CONTINUOUS FLOOR TO CEILING.
- ALL PENETRATIONS IN DRYWALL CONSTRUCTION ABOVE FINISHED CEILING SHALL BE SEALED TO PREVENT SOUND LEAKAGE.
- PATCH AND SEAL ALL PENETRATIONS IN FLOOR TO COMPLY WITH APPLICABLE BUILDING AND/OR FIRE CODES.
- CUTTING AND PATCHING. EACH MISCELLANEOUS ITEM OF CUTTING, PATCHING, AND FITTING IS NOT NECESSARILY INDIVIDUALLY DESCRIBED HEREIN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CUTTING, PATCHING, AND FITTING NECESSARY TO ACCOMMODATE THE ENTIRE SCOPE OF THE WORK.
- EQUIPMENT AND APPLIANCES: CONTRACTOR SHALL PROVIDE AND INSTALL EQUIPMENT AND/OR APPLIANCES SPECIFIED UNLESS OTHERWISE NOTED. CONTRACTOR SHALL PROVIDE TENANT FURNISHED EQUIPMENT AND/OR APPLIANCES WHERE DESIGNATED.
- TWO (2) OR MORE LIGHT SWITCHES IN THE SAME LOCATION SHALL BE GANGED TOGETHER WITH A SINGLE COVER PLATE.
- CONTRACTOR SHALL UNDERCUT DOORS AS REQUIRED FOR FLOOR FINISHES, BUT NO GREATER THAN CODE ALLOWS FOR RATING REQUIREMENTS.
- ALL GRILLES AND DIFFUSERS TO BE PAINTED TO MATCH THE SURFACE ON WHICH THEY OCCUR.
- ALL FLOOR FINISH CHANGES TO OCCUR UNDER DOORS IN CLOSED POSITIONS.
- "TYPICAL" (OR TYP.) MEANS THE REFERENCED DETAIL SHALL APPLY FOR ALL SIMILAR CONDITIONS UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL MECHANICAL AND ELECTRICAL ITEMS INDICATED ON THE ARCHITECTURAL AND ELECTRICAL DRAWINGS. ALL ITEMS INDICATED ON ANY DRAWING ARE TO BE INCLUDED AS A COMPLETE SYSTEM.
- WHERE ELECTRICAL, MECHANICAL, AND/OR OTHER WALL MOUNTED DEVICES OCCUR AT THE SAME LOCATION BUT AT DIFFERENT HEIGHTS, THEY SHALL BE CENTERED ABOVE EACH OTHER.
- CONTRACTOR SHALL BE RESPONSIBLE FOR BRACING AND SHORING OF THE STRUCTURE DURING CONSTRUCTION TO INSURE STABILITY PER G.C. CONSTRUCTION CODE SECTION 102.6.

ARCHITECTURAL SYMBOLS



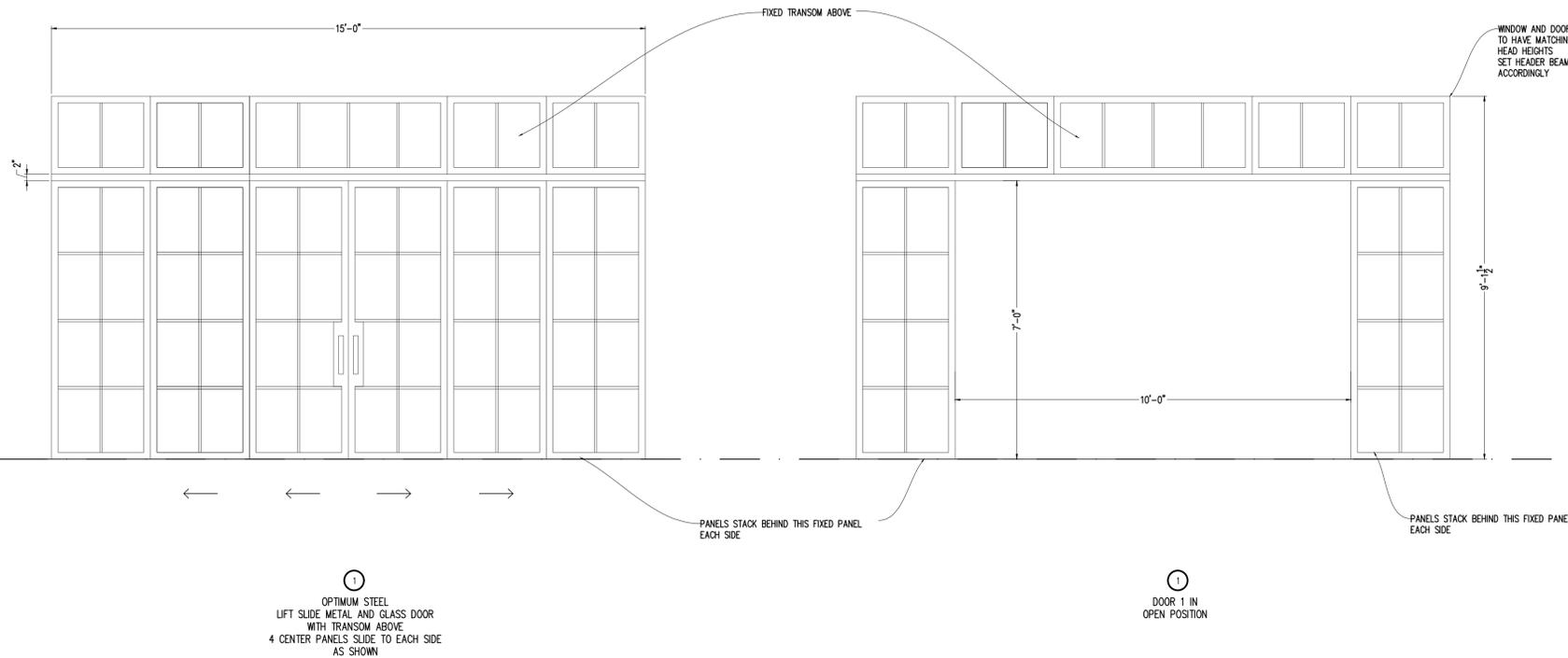
WINDOW AND DOOR SCHEDULE

SCALE: 1/2"=1'-0"

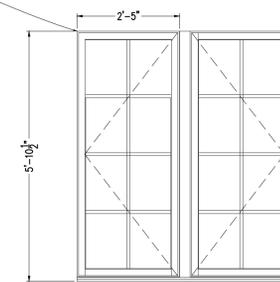
NOT RELEASED FOR CONSTRUCTION



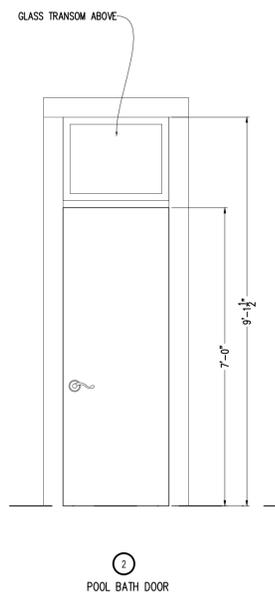
EXTERIOR DOORS



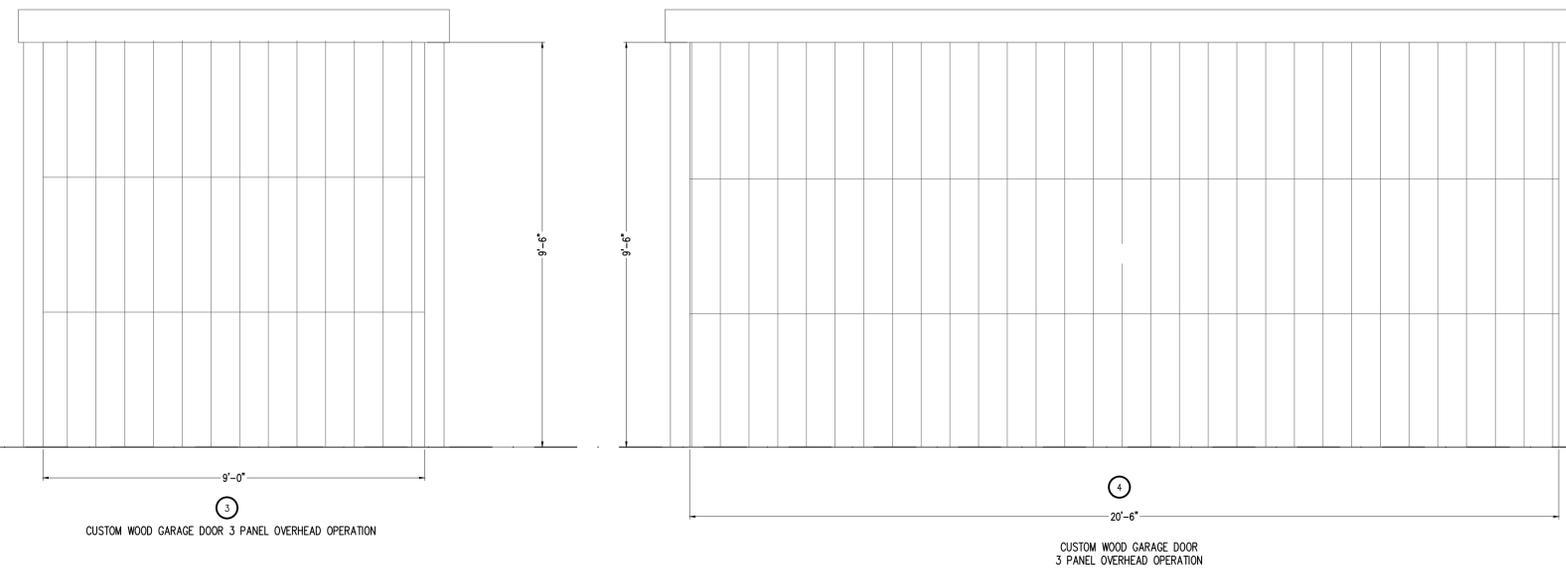
WINDOWS



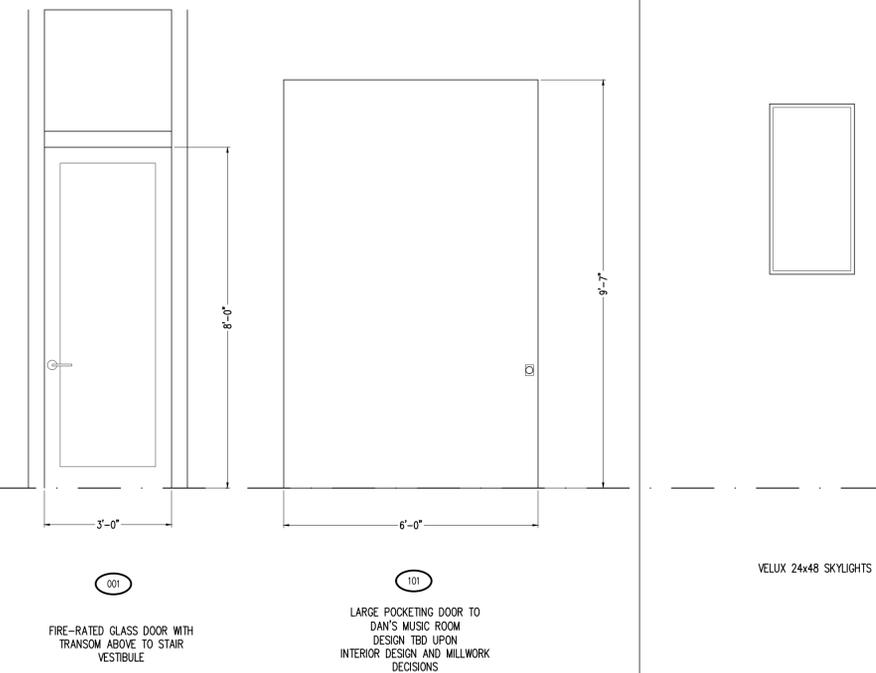
BATH DOORS (INTERIOR AND EXTERIOR)



GARAGE DOORS



INTERIOR DOORS



219 Fairfield Street
Decatur, GA 30030
Phone: 404-723-0927
karen@soorikianarchitecture.com

S O O R I K I A N
ARCHITECTURE

SOUTH PONCE de LEON RESIDENCE
1761 S. PONCE de LEON AVE., NE, ATLANTA, GA 30307

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The Contractor shall verify all dimensions and existing conditions of the site before proceeding with each phase of the work.

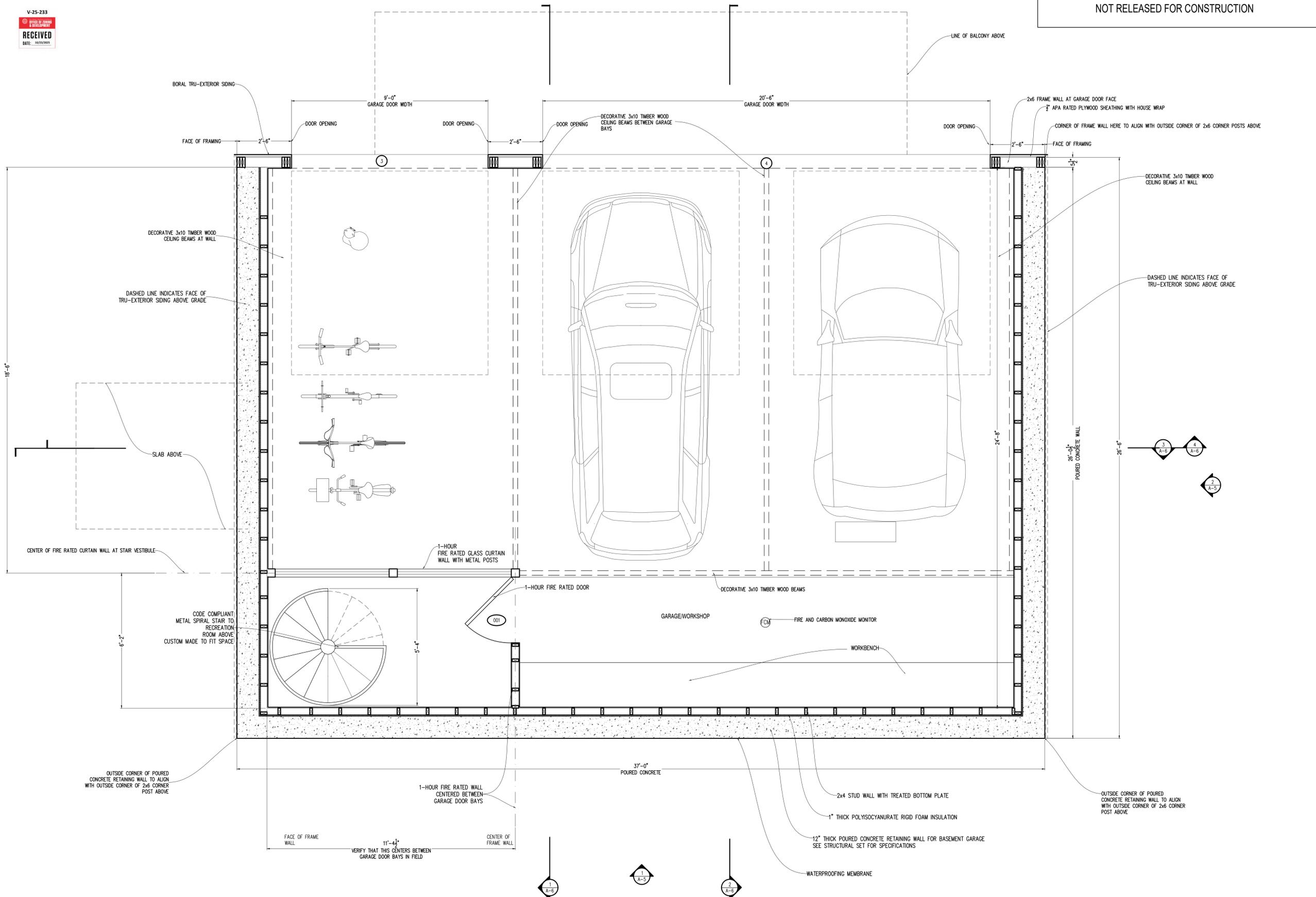


WINDOW AND DOOR SCHEDULE

Date: 10-15-2025
Revisions: REV
Job Number: 23-12
Scale: 1/2"=1'-0"
Drawn: KBS
Checked: KBS

V-25-233
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 DATE: 10/15/2025

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219 Fairfield Street
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 karen@soorikianarchitecture.com

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PROPOSED PLAN
 GARAGE LEVEL

Date: 10-15-2025
 Revisions: REV

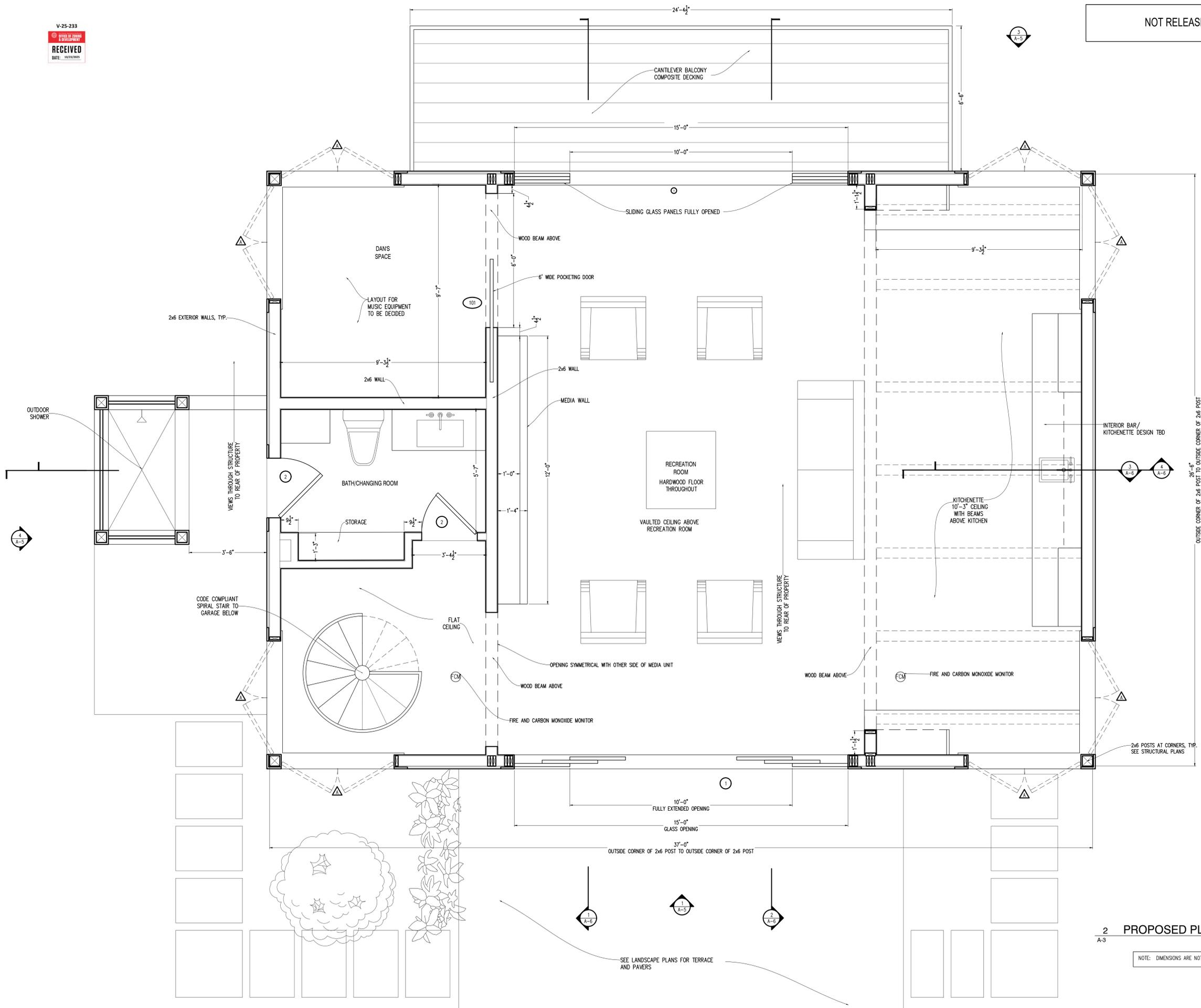
Job Number: 23-12
 Scale: 1/2" = 1'-0"
 Drawn: KBS
 Checked: KBS

1 PROPOSED PLAN FOR GARAGE
 A-3 1/2" = 1'-0"

NOTE: DIMENSIONS ARE NOTED TO FACE OF FRAMING UNLESS NOTE TO A CENTERLINE

V-25-233
 RECEIVED
 DATE: 10/15/2025

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PROPOSED PLAN
PAVILION STRUCTURE
AT POOL LEVEL

Date: 10-15-2025
 Revisions: REV

2 PROPOSED PLAN FOR POOL PAVILION
 A-3 1/2" = 1'-0"

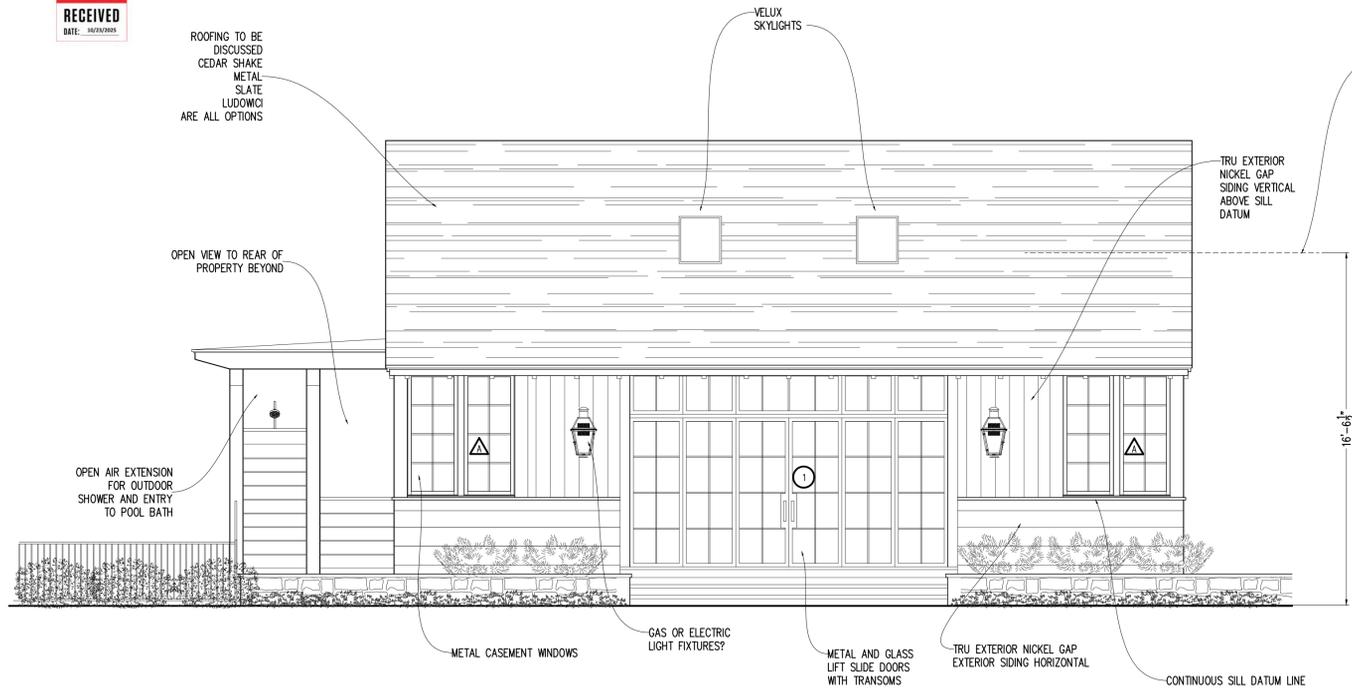
NOTE: DIMENSIONS ARE NOTED TO FACE OF FRAMING UNLESS NOTE TO A CENTERLINE

Job Number: 23-12
 Scale: 1/2" = 1'-0"
 Drawn: KBS
 Checked: KBS

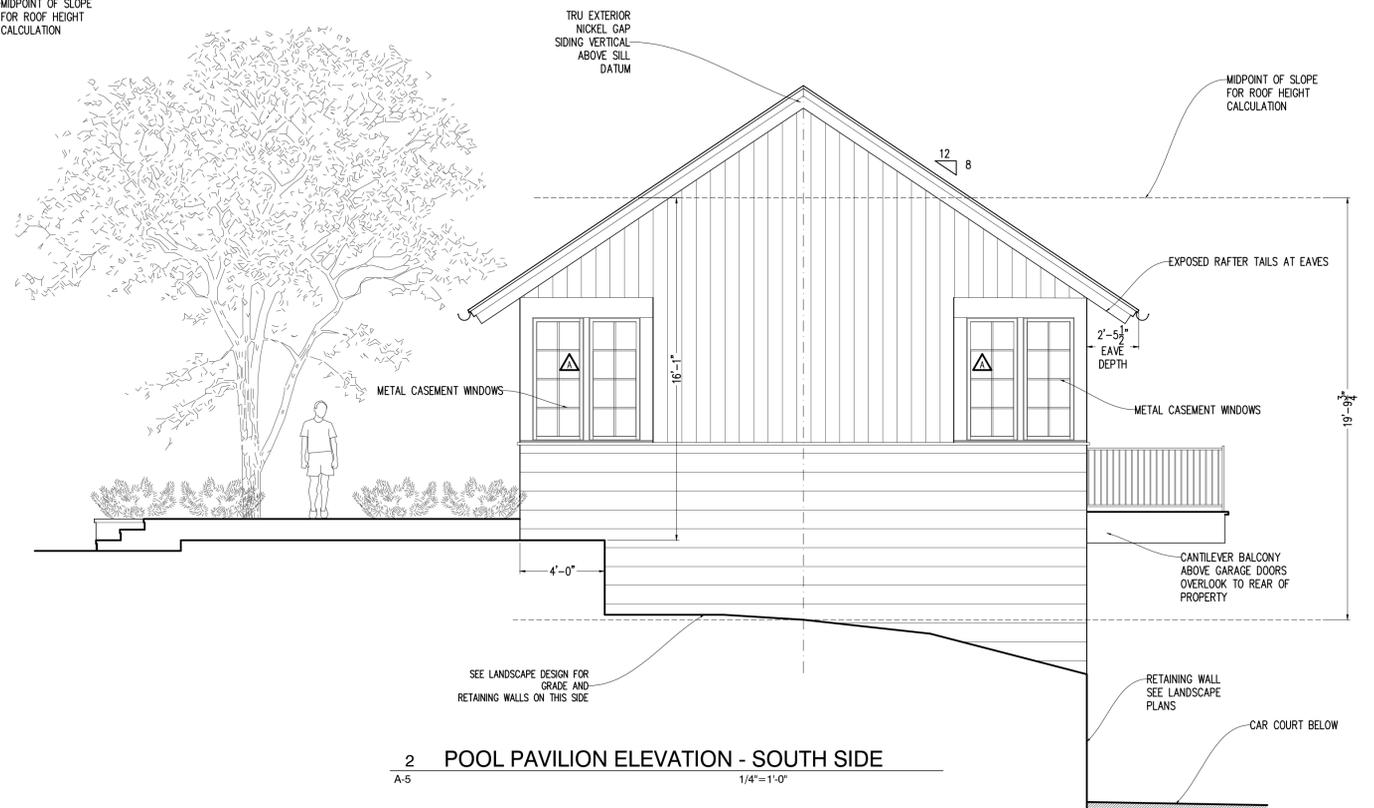
A-4

V-25-233
RECEIVED
 OFFICE OF PERMITS & DEVELOPMENT
 DATE: 04/29/2025

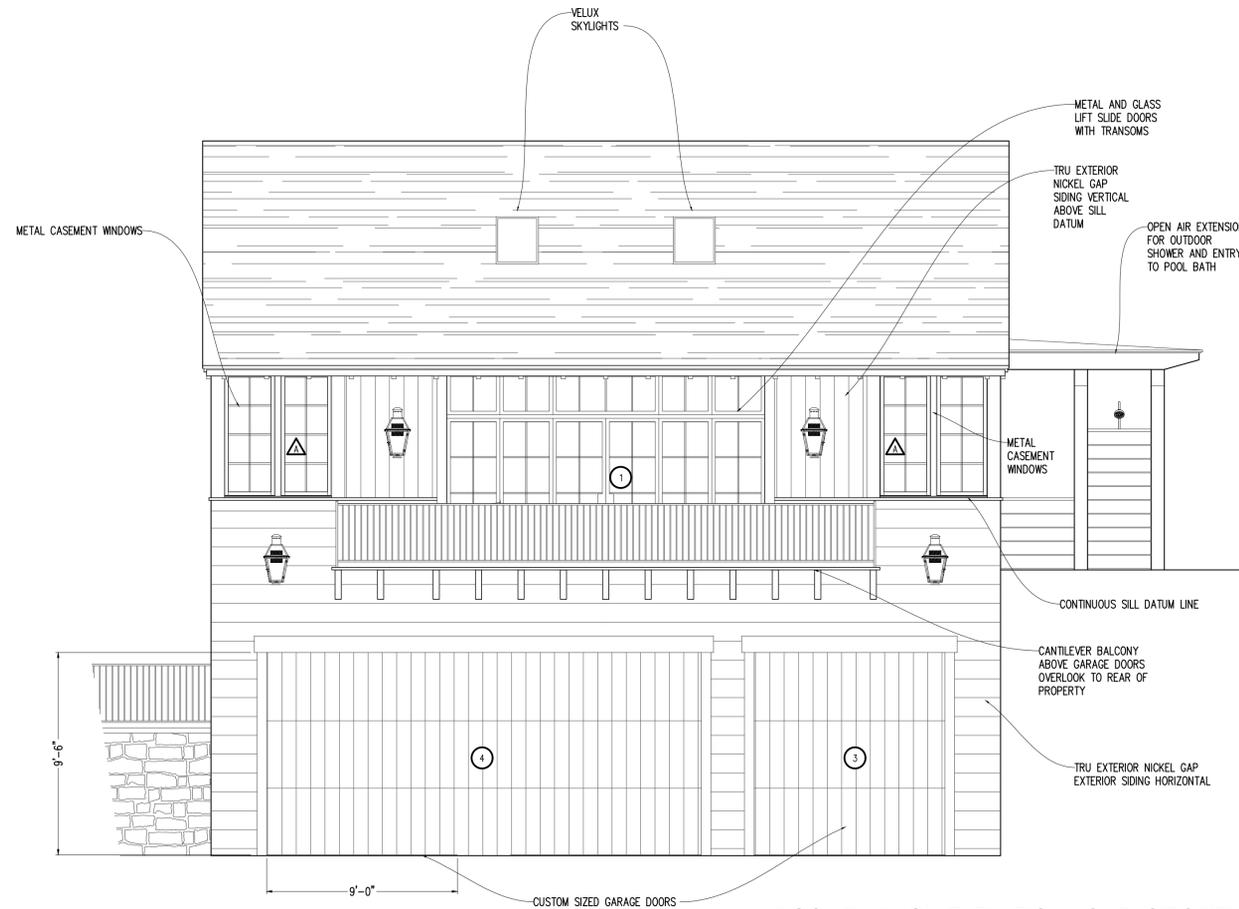
NOT RELEASED FOR CONSTRUCTION



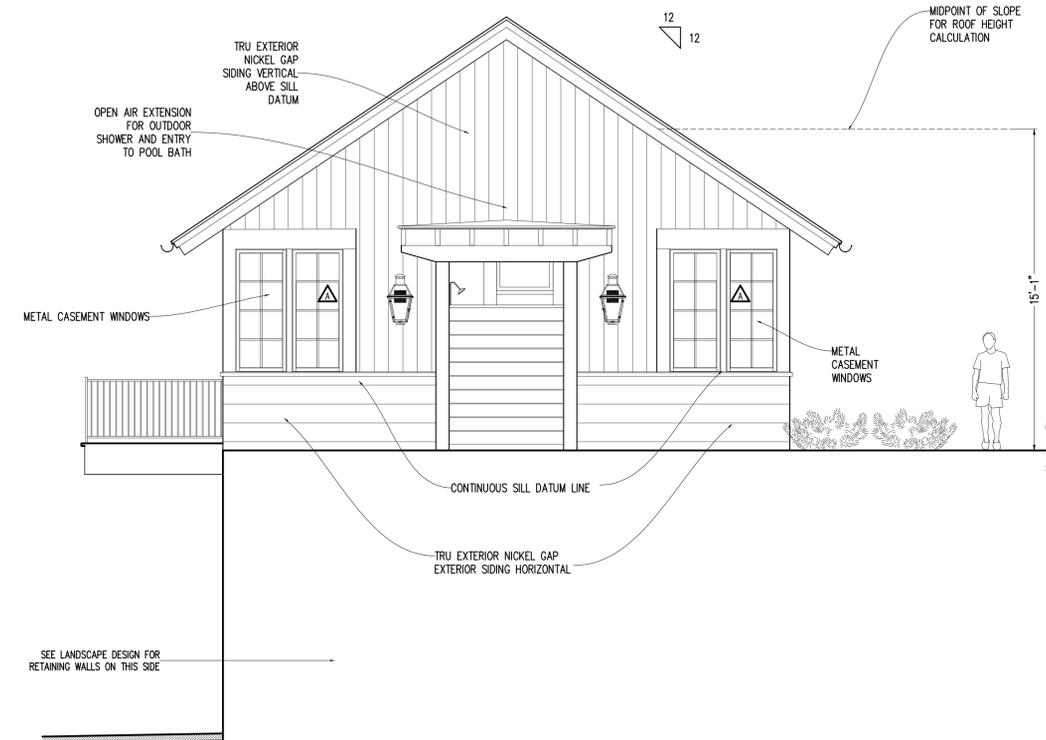
1 POOL PAVILION ELEVATION - FACING POOL
 A-5 1/4"=1'-0"



2 POOL PAVILION ELEVATION - SOUTH SIDE
 A-5 1/4"=1'-0"



3 POOL PAVILION ELEVATION - GARAGE SIDE
 A-5 1/4"=1'-0"



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PAVILION ELEVATIONS

Date: 10-15-2025
 Revisions: REV
 Job Number: 23-12
 Scale: 1/4"=1'-0"
 Drawn: KBS
 Checked: KBS

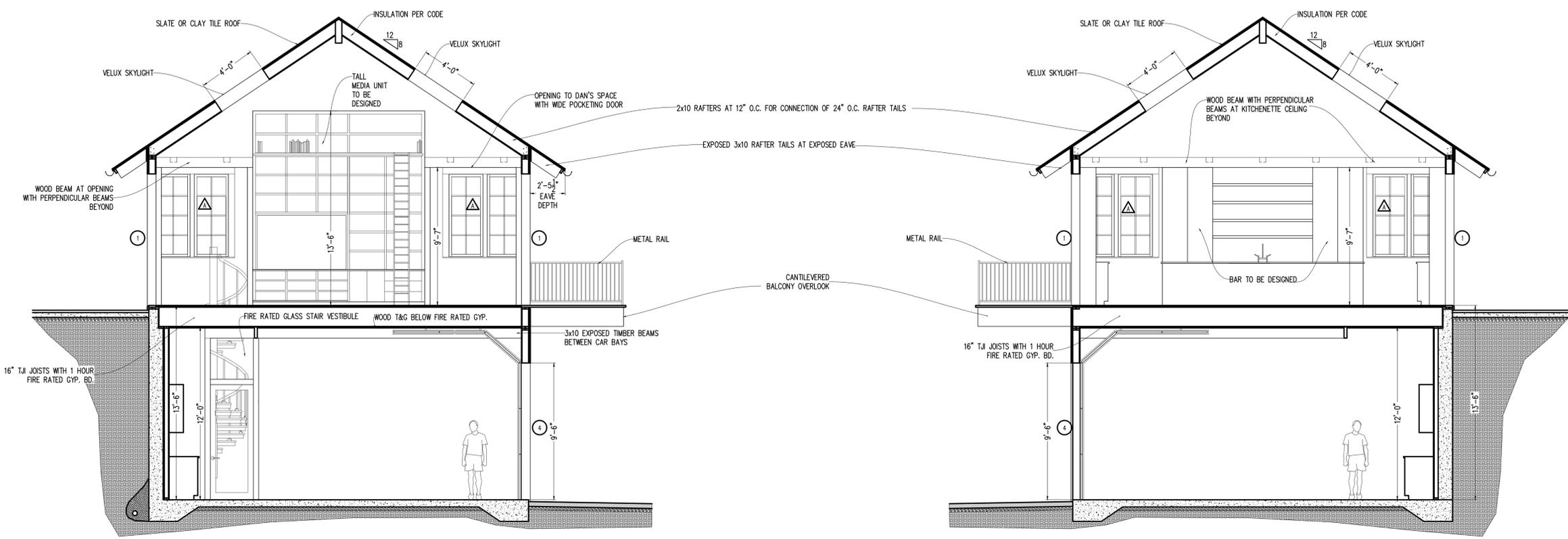
A-5

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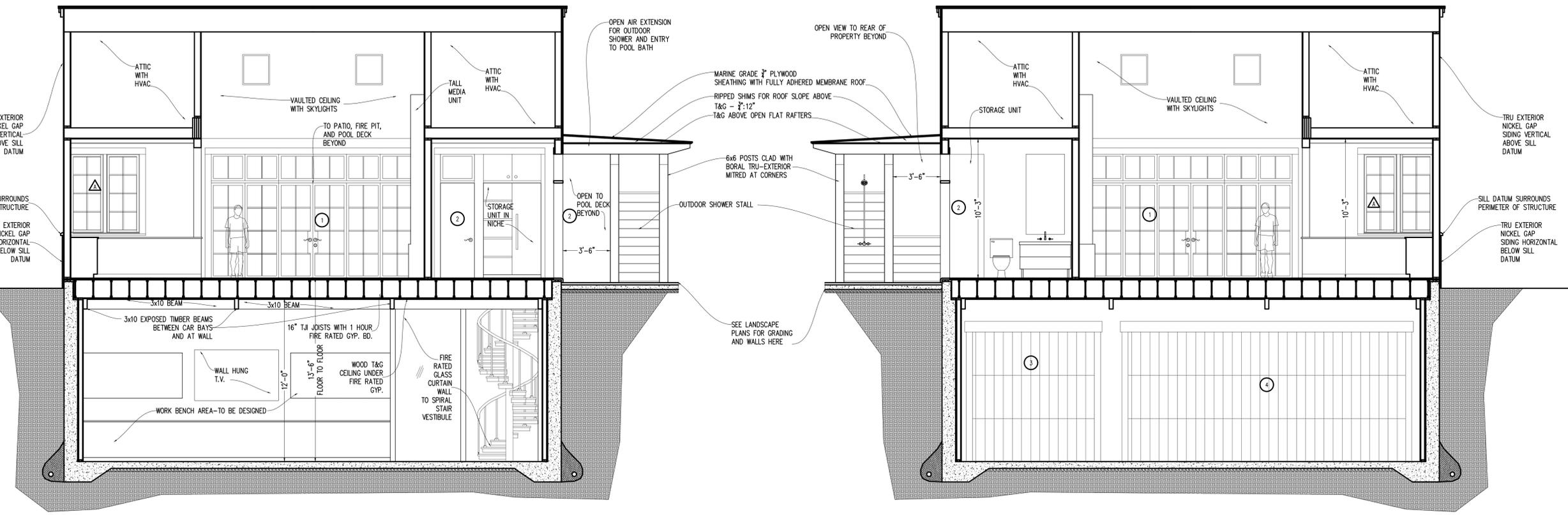
PAVILION SECTIONS

Date: 10-15-2025
 Revisions: REV
 Job Number: 23-12
 Scale: 1/4" = 1'-0"
 Drawn: KBS
 Checked: KBS



1 BUILDING SECTION THROUGH GARAGE/POOL PAVILION TOWARD MEDIA WALL
 1/4" = 1'-0"

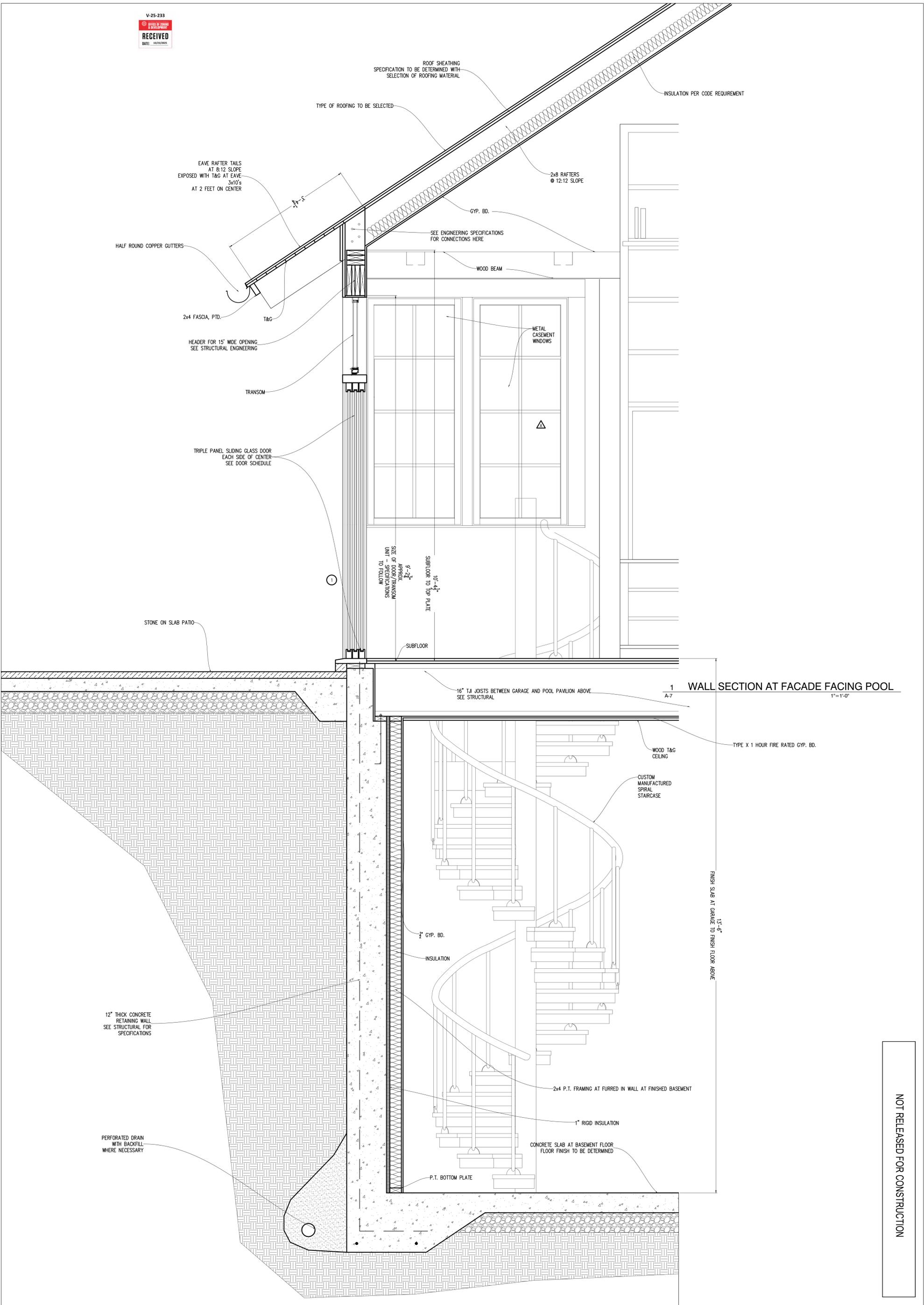
2 BUILDING SECTION THROUGH GARAGE/POOL PAVILION TOWARD KITCHENETTE
 1/4" = 1'-0"



3 BUILDING SECTION THROUGH POOL PAVILION TOWARD POOL DECK
 1/4" = 1'-0"

4 BUILDING SECTION THROUGH POOL PAVILION TOWARD REAR OF PROPERTY
 1/4" = 1'-0"

V-25-233
RECEIVED
 DATE: 10/15/2025



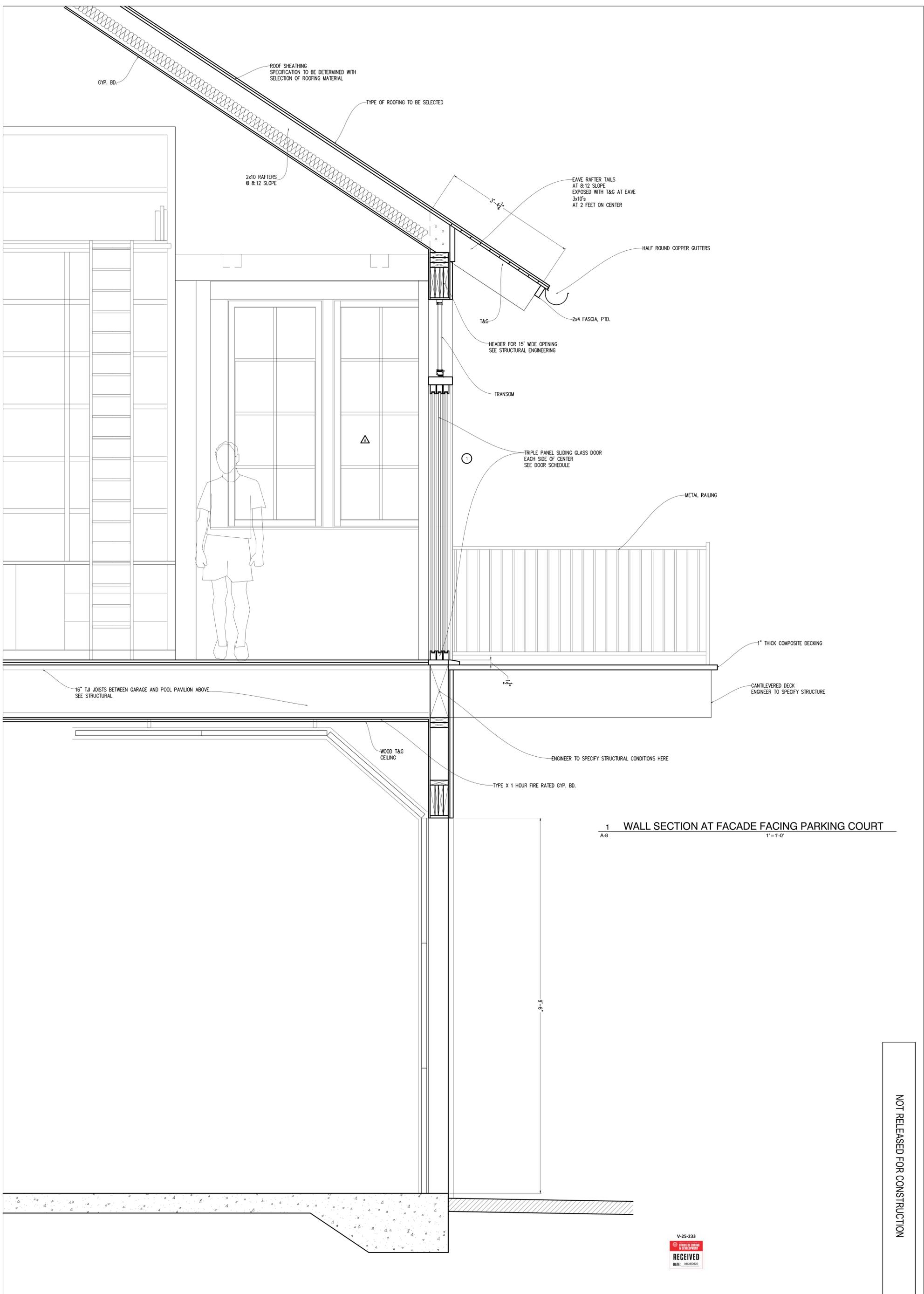
NOT RELEASED FOR CONSTRUCTION

PAVILION WALL SECTION
Date: 10-15-2025
Revisions: REV
Job Number: 23-12
Scale: 1"=1'-0"
Drawn: KRS
Checked: KRS
A-7



SOUTH PONCE de LEON RESIDENCE
 1761 S. PONCE de LEON AVE., NE, ATLANTA, GA 30307

SOORIKIAN ARCHITECTURE
 219 Fairfield Street
 Decatur, GA 30030
 Phone: 404-723-0927
 karen@soorikianarchitecture.com



1 WALL SECTION AT FACADE FACING PARKING COURT
 A-8 1"=1'-0"

NOT RELEASED FOR CONSTRUCTION



A-8	Checked: KRS
	Drawn: KRS
	Job Number: 23-12
	Scale: 1"=1'-0"
	Date: 10-15-2025
Revisions: REV	
PAVILION WALL SECTION	

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 karen@soorikianarchitecture.com



Stars indicate neighbors that have been notified about variance V-25-233 at 1761 South Ponce de Leon Avenue.

Karen Soorikian, AIA
Soorikian Architecture
659 Auburn Avenue Suite G-8
Atlanta, GA 30312
404.723.0927
karen@soorikianarchitecture.com

October 27, 2025

Re: South Ponce Project, 1761 South Ponce de Leon Avenue, NE, Atlanta, GA 30307
Application # V-25-233

Dear Neighbor,

In the rear of the property at 1761 South Ponce de Leon Avenue we are planning a new accessory structure. As the architect and applicant for the variance, I am notifying neighbors of our proposed project. We plan to retain an existing garage accessory structure, demolish another existing accessory structure, and build a new pavilion with a garage underneath tucked into the sloping topography. This structure will be centered in the 100-foot width of the property, will be less than 1,000 square feet in footprint, and will sit well within the building setback lines.

The property is an exceptionally large 67,607 square foot (1 ½+ acre) atypical parcel of land that is divided into two separate jurisdictions. The front parcel fronting South Ponce is in the Druid Hills Historic District in Unincorporated DeKalb County and is zoned R-85. It is 28,063 square feet and contains a historically significant 1928 brick Tudor style residence. The rear of the parcel is in the City of Atlanta and is zoned R-4. It is 39,544 square feet.

These plans require a variance because of the extraordinary and exceptional conditions of this large and divided lot. At 14% FAR, our primary structure is not even close to the maximum R-4 50% FAR allowance. Consequently, to realize our accessory structure with its garage below, we need permission for a modest increase in the allowable accessory structure percentage. We are seeking the following variance:

- 1. Increase the allowable area of the accessory structures from 30% to 36% of the principal structure area.**

The single-family homes surrounding ours on South Ponce are all large-scale, historically significant (in designated landmark districts), and sit on estate sized lots. Though the lots on South Ponce de Leon land in different jurisdictions with some mixed zoning, the neighborhood community itself is cohesively known to be part of the Druid Hills Historic Residential District. These properties all back up to the smaller scaled single-family communities in the Lake Claire neighborhood. Strict enforcement of the regulation from which a variance is sought creates a hardship that is not necessary to meet the intent and purpose of the R-4 zoning district. In addition to meeting the spirit and intent of the R-4 code, with its low density, our proposal meets the spirit of the historic district guidelines. Our less than 35% coverage meets the standards required on Druid Hills Historic District Properties (Unincorporated DeKalb and 20-B City of Atlanta.)

Our proposal is far below the overall development standards set by R-4 zoning to limit density to protect single family communities. This is outlined in the following chart:

Zoning Summary for 1761 South Ponce de Leon Avenue, Lot Area: 67,607 sf, Zoning Classification: R4

	EXISTING	PROPOSED	MAXIMUM ALLOWABLE
LOT COVERAGE	12,966 sf; 19% lot area	23,019 sf; 34% lot area	33,804 sf; 50% lot area
FLOOR AREA RATIO	6,920 sf; 10% lot area	9,680 sf; 14% lot area	33,804 sf; 50% lot area
ACCESS. STRUCT. RATIO	2,245/6,920; 32%	3,473/9,680; 36%	10,141/33,804; 30%

These plans will be presented first at the Thursday, November 20, 2025 meeting of the Lake Claire Neighbors (LCN). Monthly meetings of LCN are hybrid—both in-person at the Frazer Center, 1815 S Ponce de Leon Avenue, and via Zoom. Meetings begin at 7:15 pm sharp. After that, these plans will be presented at the Neighborhood Planning Unit – N (NPU-N) meeting on Monday, December 1, 2025, at 7pm, via Zoom.

Should you have any questions about this project, please feel free to contact us at the contact information listed above.

Sincerely,

Karen Soorikian, AIA

Acknowledgement of Notification:

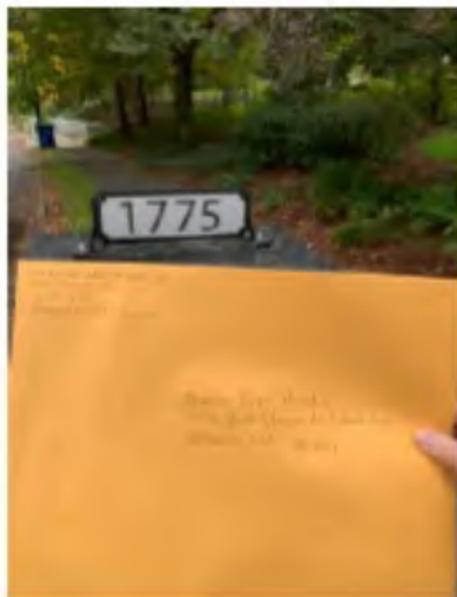
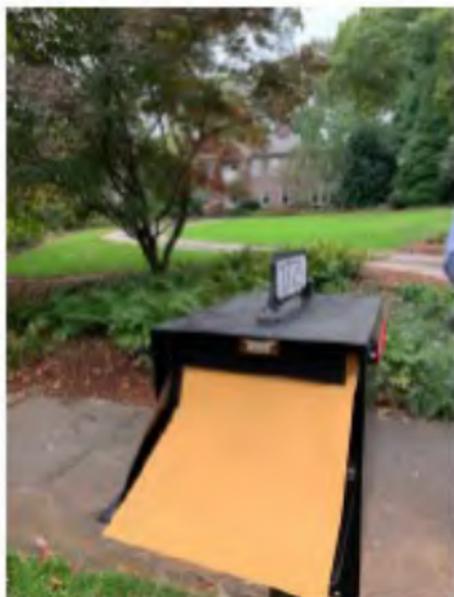
- I have been made aware of the variance request V-25-233 and given the opportunity to comment on the proposal
- I have questions
- I have been informed but have no opinion

Signature

Printed Name

605 Harold Ave., Lake Claire Neighborhood

1775 South Ponce de Leon Ave. - Martha Finn Brooks



585 Harold Avenue - Daniel C. White



605 Harold Avenue - James Batusic



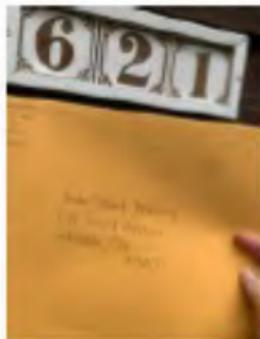
611 Harold Avenue - Ezra Lewin Billinkoff



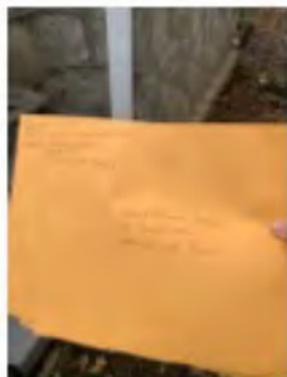
615 Harold Avenue - Matthew John McNeill



621 & 627 Harold Avenue - Jordan Stuart Braunig



631 Harold Avenue - Joseph Edward Seiber



635 Harold Avenue - Kelly Comiskey

